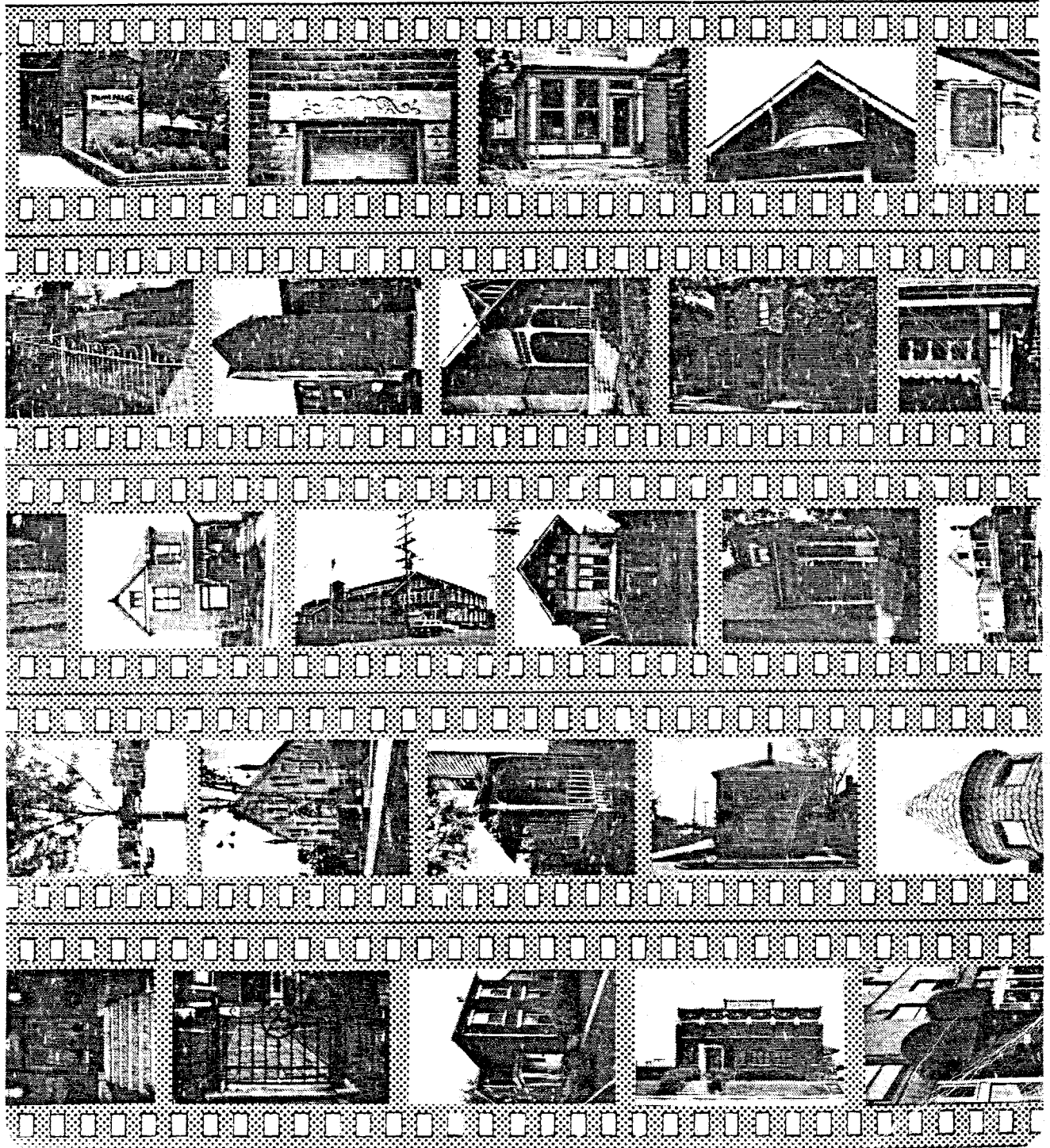


# ITALIAN VILLAGE

Columbus, Ohio

## Guidelines for Rehabilitation & New Construction



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This book is primarily for the residents and owners of property located in Italian Village, Columbus, Ohio, who are undertaking exterior modification of an existing building, or planning new construction. Today, nearly a million buildings are listed in the National Register of Historic Places, either individually or as part of a registered historic district. These – and countless other old buildings – require not only continuing maintenance and preservation but also the rehabilitation needed to accommodate new uses dictated by changing times. These Guidelines for Rehabilitation and New Construction are designed to help residents and property owners undertake rehabilitation projects and/or new construction projects that will preserve those features of the property that are significant to the historical, architectural, and cultural character of Italian Village.

These guidelines are used by the Italian Village Commission to determine the appropriateness of site improvements, restoration, reconstruction, alterations, additions and new construction, in Italian Village.

These guidelines are by no means a substitute for advice from an architect or contractor who specializes in older structures. Sources for additional information on preservation methods are listed at the end of related sections.

Approved by Columbus City Council 7/30/90 (Ordinance No. 1976-90)

Approved by Ohio Historic Preservation Office 8/3/90

Approved and Adopted by Italian Village Commission 8/7/90

The Italian Village Guidelines for Rehabilitation and New Construction were written by the Italian Village Commission, with generous assistance from the City of Columbus, the Ohio Historic Preservation Office, and the Italian Village Society.

City of Columbus  
Department of Development  
Division of Neighborhood Services  
50 W. Gay Street  
Columbus, OH 43215



City of Columbus  
Department of Development  
Historic Preservation Office  
99 N. Front Street  
Columbus, OH 43215

Ohio Historical Society  
Ohio Historic Preservation Office  
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Columbus, OH 43211



Italian Village Society  
P. O. Box 8001  
Columbus, OH 43201



Italian Village Commission  
50 W. Gay Street  
Columbus, OH 43215



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Italian Village is located in the near north side of Columbus adjacent to the central business district. The area is bounded by Interstate Route 670 on the south, Fifth Avenue on the north, North High Street on the west, and the Conrail railroad tracks on the east.

The Italian Village area was one of Columbus' first suburbs. Area growth was first stimulated by the Columbus-Worthington Pike, now called High Street, built in 1823. This road provided access to the vacant lands north of the railroad tracks.

In 1862 the Italian Village residential area was annexed to the city of Columbus. New construction activities increased substantially in the 1870s and there was a building boom in the near north areas including Italian Village in the 1880s. The industrial park on the eastern edge of the Village was annexed in 1885. Throughout the 1890s industrial development flourished on the east side of Italian Village, which had a strong influence on the economy of the area.

By 1899 the street system was complete and most of the historic buildings had been built. There was an extensive alley system that serviced horse stables behind residences.

Transportation systems had a major role in the development of the area. In 1863 the first street car service began along High Street. The cars were drawn by two horses and went as far north as Russell Street, where stables were located. 'The North Columbus Street Railway Company' served Italian Village from 1871 to 1874. High Street was paved in 1876 and the street car service was extended. By 1881 the first electric cars had appeared on High Street. At that time, High Street was still the main thoroughfare to downtown Columbus and travelers down Summit Street had to turn west through Italian Village to get to High Street. In 1895 North Fourth Street was extended to downtown by a viaduct constructed over the railroad tracks.

High Street by 1890 was a thriving arterial corridor providing commercial and retail service to the adjacent neighborhoods. Many of the High Street historic commercial buildings had been built by 1890. By the end of the century, the popu-

lation had increased considerably since its annexation in 1862. Italian Village has been home to at least three different ethnic communities and a variety of other nationalities.

The first ethnic group to reside in the area was the Irish, who in the 1850s to 1870s were concentrated around Naughten Street, known as the 'Irish Broadway' at the time, and the southern part of Italian Village. As the Irish became more successful they moved out of the area. The first Italian immigrants to Columbus concentrated in 'Flytown' west of High Street and the Milo-Grogan area. Large numbers of Italians moved into the area in the 1890s. They worked in the stone quarries, construction trades, the railroads and local businesses on High Street. The Italian craftsmen contributed significantly to the quality and character of buildings in the Italian Village area.

The early black immigrants to Columbus concentrated in the northeast quadrant of downtown along East Long Street and moved north to Italian Village to work in railroad machine shops and iron works. A small group settled in the northeast section of Italian Village by 1882. In this year the Bethany Baptist Colored Church was established.

At the beginning of the 20th century, Italian Village was a stable middle class residential community. There was electric trolley service to downtown and other parts of Columbus. Within walking distance were goods and services, recreational facilities and workplaces including the North High Street commercial district, Goodale Park, and Jeffrey Manufacturing, which employed 800 people in 1901. The most significant architectural event in the early part of the century was the widening of High Street (1915 to 1923). The 19th century facades were removed from the fronts of buildings along both sides of the street to make room for additional traffic. The result was construction of early 20th century facades on 19th century buildings along High Street. In 1923 the zoning ordinance restricting High Street to a strictly commercial-retail district was established. The stability of the Italian Village continued throughout the 1930s and 1940s.

The post World War II era saw many lower income families move into the area as the mobility of our society increased and original residents relocated to the suburbs. Large single family homes in Italian Village were converted into multiple family dwellings. Many lower income people found their way into the village after being displaced from other neighborhoods of Columbus in the early 1960s. The commercial area along North High Street began to decline in the 1950s due to the lower purchasing power of the new lower income residents and competition from regional drive-in shopping centers.

In 1951-52, the nearby 'Flytown' neighborhood was demolished in a slum clearance program for construction of the inner belt and urban renewal. This same program of highway construction affected Italian Village in the form of the Goodale expressway and the Summit Street extension to downtown. The neighborhood lost a portion of Russell, Lincoln, Brickel Swar, Goodale, and Poplar Streets.

By the 1960s, the physical condition of the area continued deteriorating. The commercial vitality of High Street decreased, and many stable institutions of the community were demolished. In addition the number of rental properties and absentee landlords increased. The Catholic school age population declined to the point where Sacred Heart Grade School and High School closed in 1973.

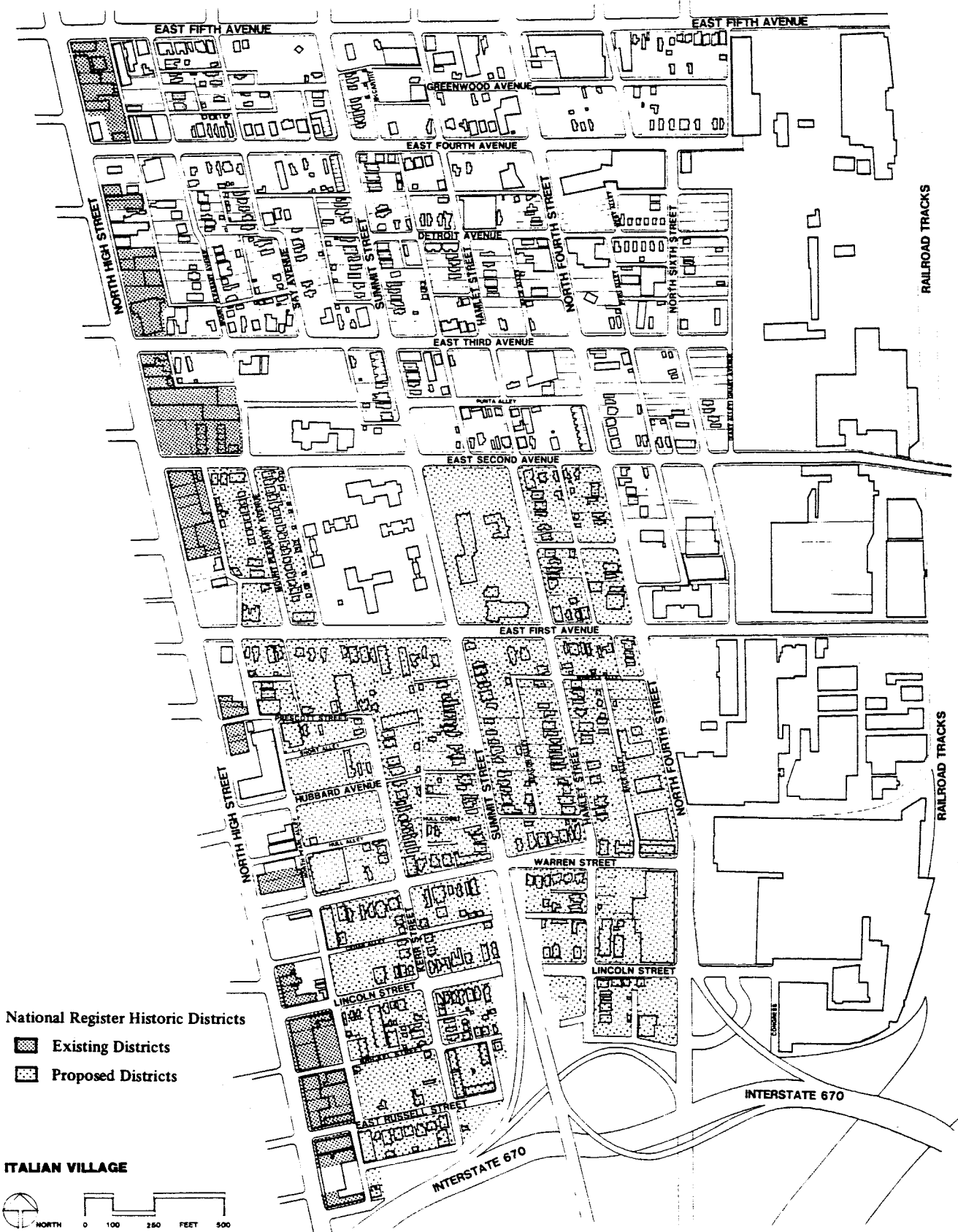
In the early 1970s, residents of Italian Village took action against the deteriorating physical condition of the area and the threat of having more historic buildings demolished. Residents and property owners, who felt a sense of community and had visions of an improved neighborhood, formed the Italian Village Society in 1973. In the same year, the Italian Village Commission was established by Columbus City Council.

In 1974 the 'Italian Village Development Plan' was completed by community volunteers and Ohio State University students. The Development Plan defined the character of the area, common problems, and proposals for action. Surveys were conducted of the building stock and architectural styles, the physical condition of the area was assessed, and zoning conditions were documented. Proposals were made for development of recreation facilities, preservation and rehabilitation of historic structures, improvement of transportation flow and enforcement of housing condition codes.

By 1975-76, rehabilitation of many historic buildings began and a sense of community and increased vitality was developing, due to the enthusiasm and efforts of the Italian Village Society and newly formed Italian Village Commission. In 1978, Community Development funds were made available to support housing and neighborhood improvement efforts by identifying the Italian Village target area. The allocation of Community Development funds and the effort of the neighborhood organizations had begun to stabilize the community by the beginning of the 1980s and attract many middle income families back to the area.

In 1986, the entire Short North Area (Italian Village, Victorian Village, and the High Street Commercial District) was awarded an 'All American City' designation, for its public-private partnership, in revitalization of the area. Several sections of Italian Village were recently listed on the National Register of Historic Places, and another section is currently being considered for listing.

# ITALIAN VILLAGE COMMISSION AREA



Italian Village is a unique Columbus neighborhood containing a collection of residential, commercial and industrial buildings. The district's late 19th and early 20th century character is defined by its historic buildings, narrow streets, and pedestrian amenities such as mature street trees and front porches.

The Village's building stock is predominantly (approximately 80%) residential, including single family homes, double houses, and rowhouses. Residential buildings are set close together and close to the street on narrow lots with alleys to the rear. Houses are both brick and frame, typically two to two and one-half stories in height, with hipped or gabled roofs. Rowhouses are generally constructed of brick, with four or more units, flat roofs and decorative cornices.

Elements from several 19th century and turn-of-the-century architectural styles exist in Italian Village. The predominant influences in the village's residential buildings come from the Italianate and Queen Anne styles. While a number of buildings are high style, a majority of the residential architecture is vernacular. Some buildings incorporate elements of more than one style.

The Italianate style was popular in Columbus from about 1860 to 1890 for both houses and commercial buildings. A large number of both high style and vernacular examples were built in Italian Village during this period. Italianate style houses are characterized by vertical proportions, asymmetrical floor plans, and a low-pitched hipped or gabled roof. Common features are ornamental brackets at the cornice, projecting bays, tall windows with two-over-two sash, and decorative woodwork on porches.

Many residences in Italian Village possess elements of Queen Anne style architecture, popular from about 1880 to 1910. Characteristics of the style include steeply-pitched rooflines of irregular shape, asymmetrical massing, and a variety of window treatments. Large gabled ends often face the street. Many elements are used to avoid smooth walls, including porches, bay windows, patterned shingles and ornate wood trim. Vernacular examples of Queen Anne may contain only a single element reminiscent of the style, such as a decorative front porch or patterned shingles in the front gable.

A common house type in Italian Village is the American Four-Square, a comfortable and affordable house of the early 20th century. The Four-Square house is rectangular or square, with hipped or gabled roof, heavy eaves, and a broad front porch. Dormers may be present on the front and sides. Wall materials are usually plain, with wood shingles or clapboards. Brick is the most common building material.

Double houses and rowhouses in Italian Village often exhibit simple facades with a minimum of ornamentation. The Village contains a number of turn-of-the-century brick rowhouses which are characterized by flat roofs, corbelled brick cornices, plain facades with simple window and door openings, and limestone foundations. Double houses usually have a symmetrical facade balanced by an entrance at each end.

Commercial buildings make up approximately ten percent of the building stock in Italian Village. Most are located on High Street along the village's western edge, but a number are also found on Summit Street, Fourth Street, Fifth Avenue, and several side streets. Architecturally, commercial structures in Italian Village exhibit a variety of late 19th and early 20th century styles. Buildings are two to four stories in height, and are divided horizontally into a storefront at the base, an upper facade, and a building cornice or parapet at the top. Storefronts are typically divided into bays by masonry piers and contain large expanses of glass. Upper floors are sometimes articulated into bays, but always contain regularly spaced windows of a more residential scale. Most commercial buildings are of masonry construction with details of wood, brick, stone or metal. While some commercial buildings exhibit an Italianate or Victorian character, a large number have facades which post-date the 1920's widening of High Street.

Industrial buildings are scattered in the Village, but are primarily concentrated in its eastern section along the Conrail railroad tracks. These buildings are generally two to four stories in height, predominately masonry construction, with large numbers of windows. Some late 19th century examples retain their wood window sashes while buildings from the early 1900's often have metal windows. Several industrial structures in the neighborhood exhibit cornice details such as brackets or decorative brickwork.

Also present in Italian Village, and contributing significantly to its architectural character, are several churches and schools. Dating from the late 19th and early 20th centuries, these larger buildings continue to play an important role in the Italian Village neighborhood.





47 E. Prescott Street



1079 Summit Street



50 E. Lincoln Street



41 E. Prescott Street



96 E. Lincoln Street



86 E. Warren Street



147-149 E. Warren Street



732-734 Kerr Street

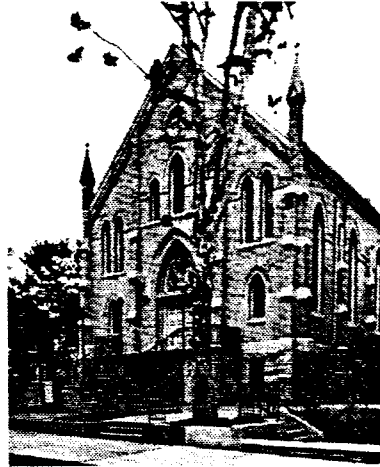


141-143 E. Fourth Avenue

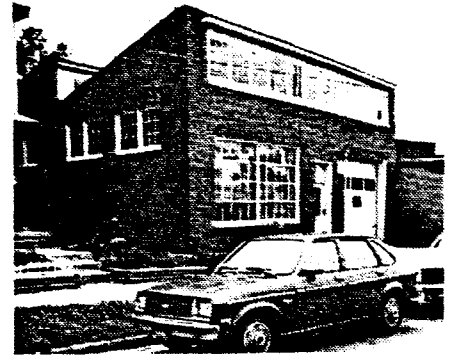
TYPICAL ITALIAN VILLAGE STRUCTURES



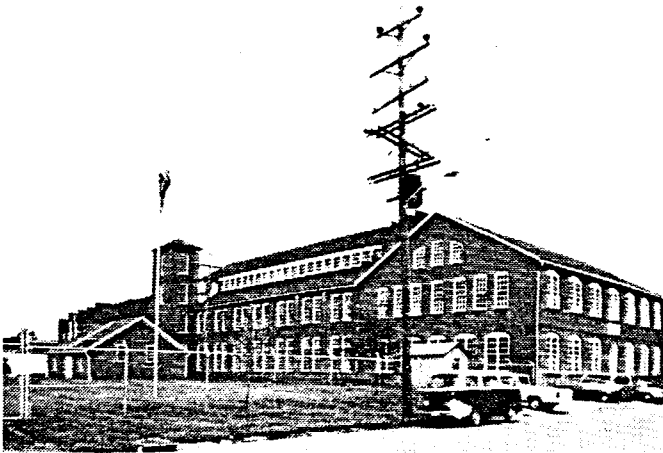
664-674 Kerr Street



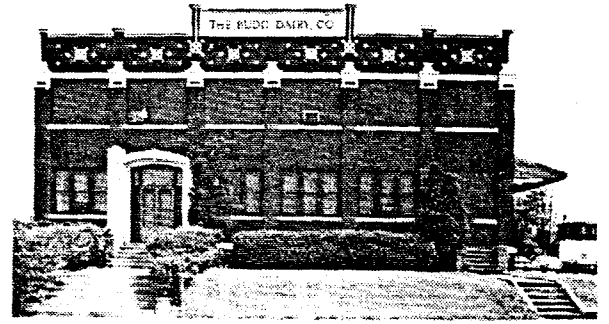
720 Hamlet Street



141 E. Third Avenue



350 E. First Avenue



1086 N. Fourth Street



1038-1042 High Street



1206 N. High Street



High Street (First to Second Avenue)

The Italian Village Commission was established by Columbus City Council in September of 1973. The Columbus City Code specifies that the Italian Village Commission consists of nine members, appointed by the Mayor, to serve three-year terms, without compensation. The Italian Village Society makes recommendations to the Mayor for appointment of five (5) of the Commissioners. The Commission was established to incorporate citizen participation in the design review process.

The Code makes it clear that a Certificate of Appropriateness must be obtained from the Commission before doing any work, other than routine maintenance, on the exterior of any structure in Italian Village. A building permit for work in Italian Village cannot be granted by the City until the Commission has approved the proposed work, and issued a Certificate of Appropriateness.

The Code gives the Commission broad discretion to pass on the appropriateness of any application for a Certificate. In deciding whether to issue a Certificate, the Commission considers, in addition to other pertinent factors, the historical and architectural value and significance, architectural style, general design, arrangement, texture, material and color of the exterior architectural factors of other structures in the immediate area. Anyone who constructs, reconstructs, alters, or demolishes the architectural features of any structure in Italian Village may be found guilty of a misdemeanor if the work was not approved by the Commission. A fine may be imposed on the violators. Anyone who demolishes all or a substantial part of a building in Italian Village without the Commission's approval may also be fined. Penalties may be applied when a property owner willfully neglects a structure in Italian Village.

A copy of the Columbus City Code, establishing the Italian Village Commission, is listed in its entirety, in the appendix.

The Italian Village Commission meetings are held on the first and third Tuesday of each month, from April through October, and on the third Tuesday of each month from November through March. Meetings are held at St. Joseph Montessori School, 893 Hamlet Street, Columbus, Ohio. All meetings are open to the public. Announcements of the meetings, as well as condensed minutes of the previous month's meeting, are published in the Italian Village Newsletter.

Applications, and the related Instruction Packet, are available at the Community Services Division of the City of Columbus, 50 W. Gay St., Columbus, Ohio 43215. The Community Services Department's phone number is 645-7144. Applications must be made a least ten days before the meeting, to be included on the agenda.



## ENFORCEMENT:

Requirement of a Certificate of Appropriateness, prior to starting any exterior work in Italian Village and enforcement of the decisions of the Commission are enforced by the City of Columbus, Regulations Division. Columbus City Codes regarding establishment of the Commission and enforcement are listed in the appendix.

Whoever makes site improvements or constructs, reconstructs or alters any structure or architectural feature now or hereafter in Italian Village is in violation of Columbus Code 3316, and shall be deemed guilty of a misdemeanor and shall be fined not less than five hundred dollars (\$500.00) nor more than twenty-five thousand dollars (\$25,000.00)

Whoever demolishes a substantial part or all of structure now or hereafter in Italian Village is in violation of Columbus Code 3316, and shall be deemed guilty of a misdemeanor and shall be fined not less than ten thousand dollars (\$10,000.00) nor more than twenty-five thousand dollars (\$25,000.00).

Whoever causes, by willful action or willful neglect, any alteration of or demolition of any structure now or hereafter in Italian Village is in violation of Columbus Code 3316, and shall be required to restore or reconstruct same in accordance with the pertinent architectural characteristics, guidelines and standards.

## DEMOLITION BY NEGLIGENCE:

Demolition by Neglect is the willful neglect of a structure leading to its destruction by deterioration. It is a direct violation of Columbus City Code 3116.22. A property owner found guilty of Demolition by Neglect shall face criminal and civil penalties and be required to reconstruct the structure in accordance with pertinent guidelines and standards.

No owner of a structure in Italian Village shall by willful action or willful neglect, fail to provide sufficient and reasonable care, maintenance and upkeep appropriate to ensure such structure's perpetuation and to prevent its destruction by deterioration. This provision shall be in addition to all other applicable City Code provisions. By resolution the Commission shall present evidence of a violation hereof to the Development Regulation Administrator who shall initiate appropriate action thereon.



Obtaining a Certificate of Appropriateness, for proposed work to the exterior of a structure, is a necessary experience for all Italian Village property owners.

A copy of an Application for a Certificate of Appropriateness is listed in the appendix. Copies of Applications and the related Instruction Packet are available from the Community Services Division of the City of Columbus, 50 W. Gay St., Columbus, OH 43215. (Phone No. 645-7144)

Applications must be made ten (10) days before the meeting, to be included on the agenda. The Italian Village Commission meets on the first and third Tuesday of each month from March through September, and on the third Tuesday of each month from October through April.

Applications for a Certificate of Appropriateness should include the following:

1. Color snapshots of the property, including, but not limited to, general shots of each side of the building to be changed or worked on, and close ups of the parts of the building being changed or worked on
2. Samples of materials and color finishes, product literature, or descriptions of materials and finishes to be used
3. Drawings (to scale or with all dimensions listed) of any minor addition or major reconstruction, including both plan and elevation views
4. New construction or substantial alteration shall include a complete set of construction drawings including site plan, facades and other exterior surfaces, landscaping plans and detail drawings
5. A site plan (a survey, or a scaled drawing, or a drawing with all dimensions listed) showing property lines and the location of all structures is needed for applications that involve building additions, adding or modifying garages, adding or modifying outbuildings, installation of a fence, addition or modification of sidewalks, modifications or additions to a parking area, or major landscaping changes
6. Drawings of, or renderings of, any graphic or sign to be installed on the property, and its proposed location
7. Applications for conceptual review should include photos and drawings of anything else that can convey the work proposed
8. Demolition requests require plans for what will replace the demolished structure
9. Zoning changes, variances and lot splits should be reviewed by the City Zoning staff prior to review and recommendation by the Italian Village Commission. As a courtesy to residents and property owners, all zoning changes, variances and lot splits are presented to the Italian Village Society members prior to review by the Commission. The Society makes a recommendation to the Commission. However, the Society's recommendation is not binding on the Commission.

If preparation of any item above is beyond the physical or financial means of the owner, the Commission may request that (City) staff prepare it.

The Commission will consider an application at its next regularly scheduled meeting, if the application was filed at least ten (10) days prior to the meeting. The Commission must review an application within forty-five (45) days.

Applications involving extensive renovation, major alterations, new construction, demolition, code enforcement or adverse alterations, may be tabled or extended to the next regularly scheduled meeting of the Commission, in order for the Commission to meet at the site, with the applicant, or in order to consider alternative plans, products, materials and finishes.

Every attempt will be made to process applications in a timely manner. However, individual portions of an application must be considered in context with their combined effect on the structure.

A Certificate of Appropriateness will be issued when the Commission determines that the proposed alterations, construction, demolition or site improvement are appropriate. An affirmative vote by a majority of the members present, (a quorum must be present) shall cause issuance of a Certificate.

If the Commission determines that no architectural feature is involved, the Commission will endorse the permit application, or issue a Certificate stating that no architectural feature is involved.

If the Commission determines that a proposed alteration, construction, demolition or site improvement is inappropriate, the Commission may deny a Certificate.

**SPECIAL NOTE:** Normal maintenance and repairs do not require a Certificate of Appropriateness. Normal maintenance and repair is defined as replacement or repair of deteriorated, decayed or damaged building elements to match the original elements exactly in size, scale, location, type of material, finish and color, prior to such deterioration, decay or damage. Repainting using the same paint color is considered maintenance.

#### **APPEAL OF COMMISSION DECISIONS:**

In November of 1989, Columbus City Council enacted Chapter 3116 of the Columbus City Code, which establishes a Historic Preservation and Architectural Review Appeal process. A copy of the Code, establishing the appeal process is listed, in its entirety, in the appendix.

If a Certificate of Appropriateness is denied by the Italian Village Commission, within ten (10) days after its decision, the Commission secretary shall record the reason for denial and present it in writing to the applicant.

For a minor alteration or minor site improvement, the applicant may schedule a negotiation meeting with the City of Columbus, Human Services Department staff and a representative of the Commission within ten (10) days of such denial. The applicant, staff and Commission representative will attempt to reach a compromise within thirty (30) days thereafter. If a compromise is reached a Certificate of Appropriateness will be issued immediately. If no compromise is reached, and negotiation ceases, the Commission shall issue its final order.

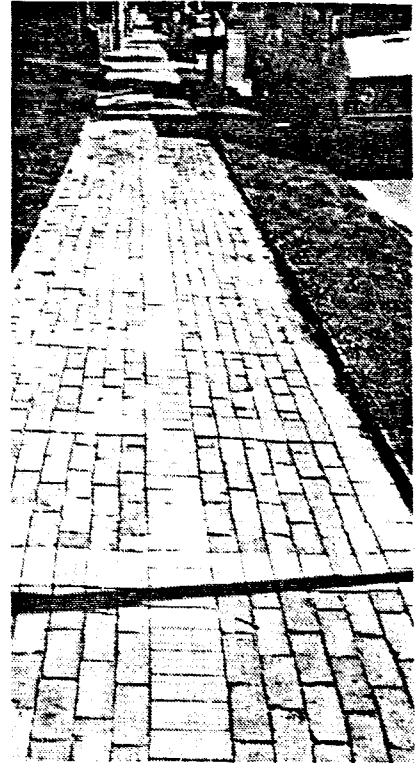
For cases other than minor alterations or minor site improvements, the applicant may, within ten (10) days after notice of denial, request a rehearing before the Commission to consider any unusual and compelling circumstances and/or substantial economic hardship unaddressed in the original application. Such requests shall be submitted to the Secretary of the Commission in writing together with any alternative plans and evidence as to such circumstances and such hardship. Within thirty (30) days of the Commission's receipt of such request, it shall hold a public hearing at which it will consider the applicants evidence in response to its decision and any alternative plans. Clear and convincing evidence shall be required for a Commission to find unusual and compelling circumstances and/or substantial economic hardship. If the application is granted after rehearing, the Commission shall clearly state in the records of the hearing, the reason for granting, as outlined in Columbus City Code, Section 3116.19. paragraph C. If the application is denied, the Commission shall clearly state in the records of the hearing the reason the applicant failed to meet the test for unreasonable and compelling circumstances and/or substantial economic hardship, and the Secretary of the Commission shall notify the applicant within twenty (20) days of said rehearing.

If denied the applicant may choose to continue to work with the Commission and its staff to find an appropriate design solution, or appeal the denial to the Board of Commission Appeals on the same grounds.

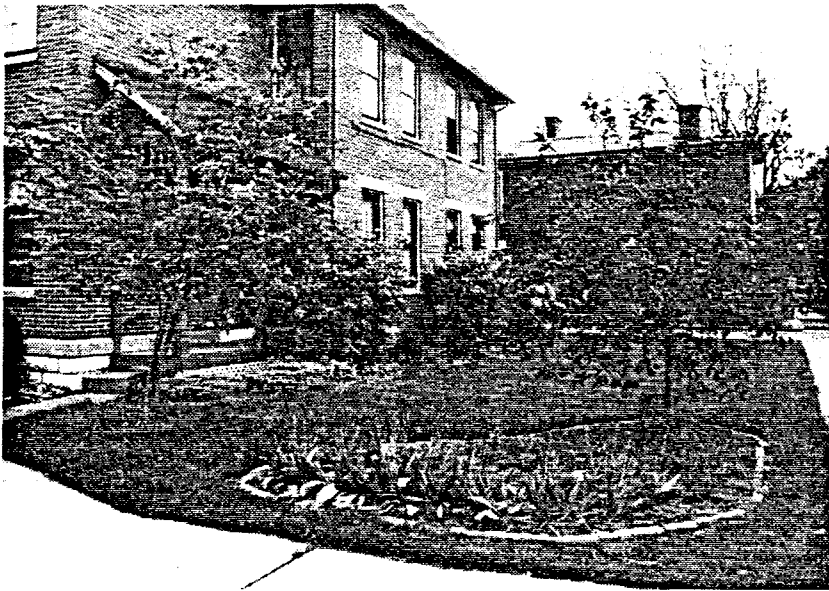
The applicant bears the burden of demonstrating substantial economic hardship or unusual and compelling circumstances. The applicant is encouraged to seek assistance from the staff of the City of Columbus Human Services Department in meeting this burden.



60 E. Hubbard Avenue  
Original Limestone Steps



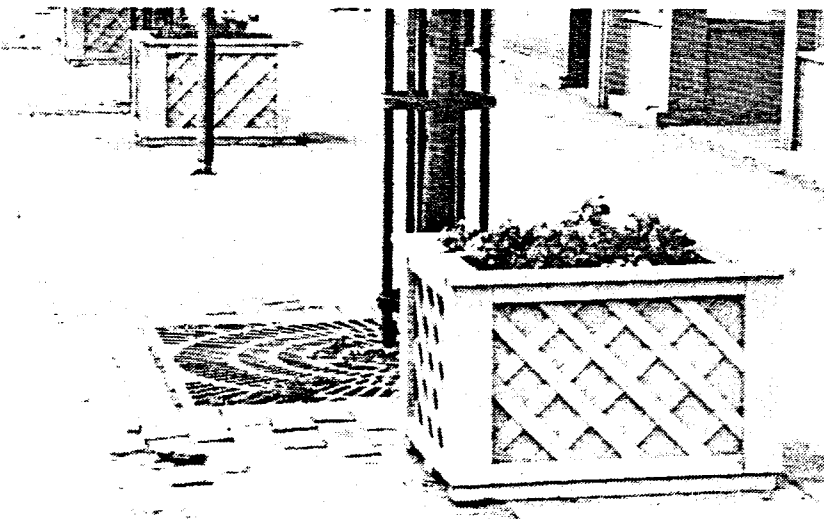
Kerr Street (Warren to Lincoln)  
New brick walk



175 E. First Avenue  
Appropriate Landscaping



High Street (Popular to King)  
Street Trees



High Street (Milay to Hull)  
Planter Boxes

The land area in Italian Village is basically flat. Traditional landscaping did not alter the basic terrain. Cut stone curbs were used to slightly elevate the public sidewalks from the street. In some cases, a minimal retaining wall, of cut stone or brick, was used to elevate the yard from the public right-of-way. Most often, these retaining walls were used as a base for a decorative iron fence or a small wooden picket fence. Traditional landscaping was light, open and airy. Trees were used in the public right-of-way and as a means of shading portions of a house. Flowering shrubs and perennial flowers were used to enhance the buildings and open spaces. Grassy areas predominated.

**APPROPRIATE:**

The use of trees in the public right-of-way, particularly trees that are consistent with other trees along the same street, or on streets in the immediate area are encouraged. (Note: Trees planted in the public right-of-way require the approval of the City Forestry Division.)

The use of shade or specimen trees, when they complement and enhance the structure is encouraged.

The use of traditional flowering shrubs, perennial flowers and naturalizing plants is preferred.

The use of grass cover in open areas is preferred.

**NOT APPROPRIATE:**

Do not radically change the site features.

Do not remove historical landscaping features, such as limestone steps and stoops.

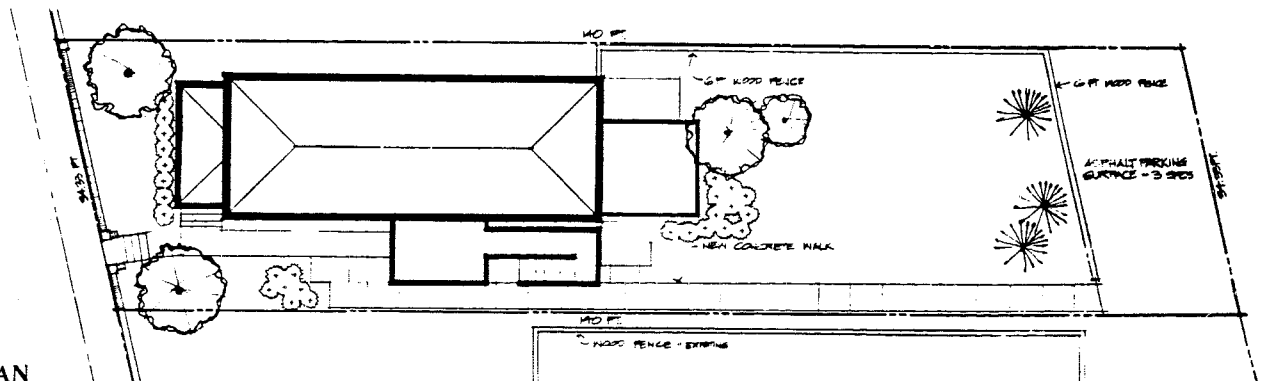
Do not remove healthy mature trees.

Totally eliminating open grassy areas is not in keeping with historical landscaping design.

The excessive use of mulch, crushed stone, railroad ties, and retaining walls is not appropriate, as these materials were not used traditionally.

Dense shrubs planted around the foundation of a structure are not appropriate, as this area was traditionally left open.

Altering the landscaping materials (usually grass and trees) in the area between the public sidewalk and the street is not appropriate, as it changes the overall streetscape.



SITE PLAN



The historic fences of Italian Village were made of wrought iron, wood picket or wood lath and picket. Many of the original wrought iron fences are still standing. Traditionally, fences were physical rather than visual separation.

Appropriate types of new fences in Italian Village include wrought iron, wood picket, wood board, and wire fences. New fences should match the original character and appearance of the structure and be compatible with existing fences in the area. Properly placed, well maintained, and appropriately designed fences can provide privacy, protection, and be visually pleasing

Some types of fences are more appropriate for commercial or industrial sites, and less appropriate for residential areas. These fences include brick walls, brick with brick piers, brick and wrought iron combinations and most solid wood fencing. These fences are visual separations. They are most appropriate when screening parking lots, loading docks, delivery areas, storage areas, and other commercial or industrial functions. Residential property owners should be aware of the fact the solid fences also screen an intruder from the view of neighbors and passersby.

**APPROPRIATE:**

Repairing and maintaining historic fencing materials is preferred.

New wrought iron fences should be simple in design. (Height should be 30 to 36 inches.)

New wood picket fences should be simple in design. (Height should be 30 to 36 inches around the front yard, and not in excess of 72 inches around the side or rear yard.)

Plain board and privacy fences should be vertical boards, nailed side by side, on parallel stringers. These fences are appropriate around rear yards only. (Height should not exceed 72 inches, but a height of 60 inches is preferred )

Always place the front side of the fence toward the street with the structural posts and stringers on the inside of the fence.

Wood fences should be painted or stained with an opaque stain compatible with the structure's colors.

Plain board and privacy fences should be visually softened through the use of landscaping around the outside perimeter.

**NOT APPROPRIATE:**

Fences should not obscure views of the structure.

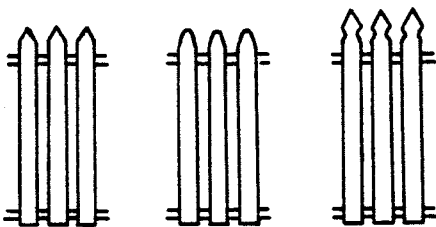
Ornate wrought iron fences are not appropriate.

Chain link, stockade, shadow board, basket weave and other contemporary fence materials are not appropriate.

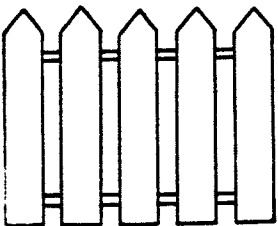
Wood fences should not be left to weather, as traditionally all exterior wood was painted.

Plain board and privacy fences are not appropriate around the front yard and/or front of a structure.

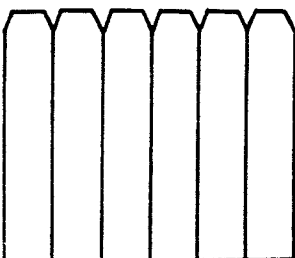
**APPROPRIATE FENCE TYPES:**



Picket Fence Styles



Plain Board Fence



Wood Privacy Fence



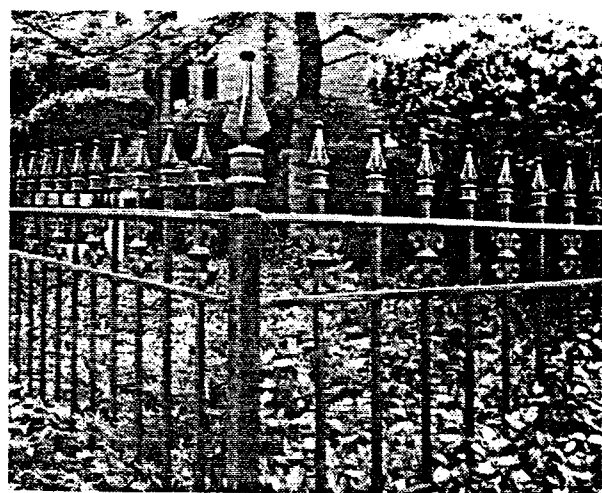
1079 Summit Street  
(Original Fence)



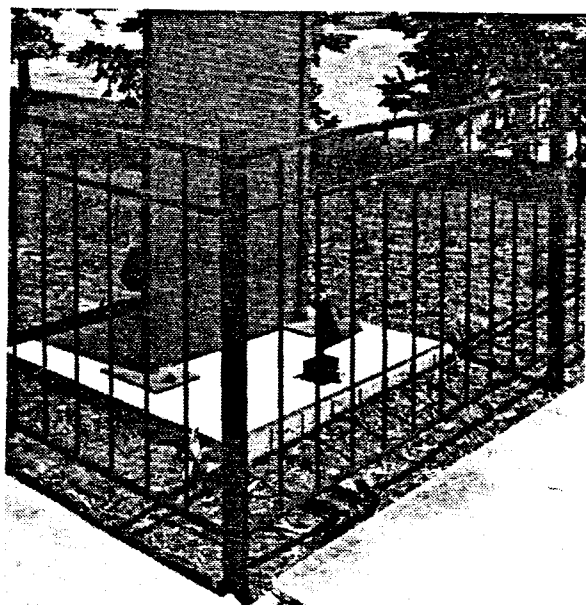
29 E. First Avenue  
(Original Fence & Gate)



181 N. Fourth Street  
(Original Fence & Gate)



21 E. Fifth Avenue  
(Original Fence)



772 N. High Street  
(New Fence)



24 E. Lincoln Street  
(New Fence)

Of all of the paved surfaces in Italian Village, only sidewalks and streets are original. The first sidewalks and streets were of brick pavers. Only a few of the original brick streets remain. However, a number of the original paved sidewalks are still in use. Patios, driveways and parking areas are modern additions.

**SIDEWALKS:**

Either brick or concrete walks are appropriate (brick walks should be paved with dry-laid brick instead of set in mortar).

If new paving is being installed adjacent to old, match the patterns in the existing paving.

Generally, sidewalks should be not less than 30 inches wide, nor more than 48 inches wide.

Avoid using salvaged brick from demolished buildings as they do not have the hard exterior surface necessary for durability.

Concrete pavers, stepping stones and wood are not appropriate sidewalk materials.

**PATIOS:**

Brick pavers are the preferred material for patios, however concrete and brick colored tile are acceptable.

Avoid the excessive use of landscaping timbers, railroad ties, and prefabricated pavers.

Decks are not appropriate additions in Italian Village. (Porches and porch additions are the most appropriate way to utilize exterior spaces.)

**DRIVEWAYS AND PARKING AREAS:**

Paving brick is the preferred surface for driveways and parking areas. Brick pavers measure four-by-four-by-eight inches. These pavers should be laid in a bed of sand, on top of a concrete base.

Concrete and asphalt are acceptable surfaces for driveways and parking areas.

Commercial and industrial parking areas should incorporate landscaping into the parking areas, as well as screen the area from neighboring residential areas.

**STREET FURNITURE:** \_\_\_\_\_

Street furniture, such as trash receptacles, benches, and planters add to the visual appeal of Italian Village. The historic character of the neighborhood should be considered when selecting the type, size, location and character of these elements.

**APPROPRIATE**

Generally, street furniture should be contemporary in style.

Placement should not hinder pedestrian movement.

Freestanding planters and trash receptacles along the same street should be complementary to each other, as well as a part of the overall design of the streetscape.

**NOT APPROPRIATE**

Street furniture that attempts to create an earlier appearance that has no historical basis.

Traditionally there was no or very little exterior lighting in Italian Village, as most structures predate electric lights. However, adequate lighting can increase safety and aesthetic value. Proper lighting levels are important. Fixtures should be located to provide low lighting for paths, area lighting for security, accent lighting for special locations and entrance lighting at doors.

**APPROPRIATE - RESIDENTIAL:**

Use simple contemporary fixtures preferably located on the ceiling of a porch or beside the entry door.

Accent and area lighting should be simple, contemporary and as unobtrusive as possible.

Security lighting should not illuminate surrounding properties.

**APPROPRIATE - NONRESIDENTIAL:**

Storefronts can be lighted using lights inside the display windows.

Recessed entry doors can be lighted using recessed lights in the ceiling of the recessed entry.

Use simple, contemporary fixtures.

**NOT APPROPRIATE FOR RESIDENTIAL OR NONRESIDENTIAL:**

The use of flood lights to light up the entire facade of structure is not appropriate, as it is not in keeping with historic lighting methods.

Area and security lighting must not shine into adjacent properties.

The use of coach lights and 'old looking' fixtures are not appropriate as they attempt to create an earlier appearance that has no historical basis.

**SPECIAL FEATURES:**

Special features, such as hot tubs, swimming pools, playhouses, gardening sheds and greenhouses are obviously modern day additions that must be considered in the overall site plan. While these special features are not original to Italian Village, careful site planning will minimize their impact on the historic character of the area.

**APPROPRIATE:**

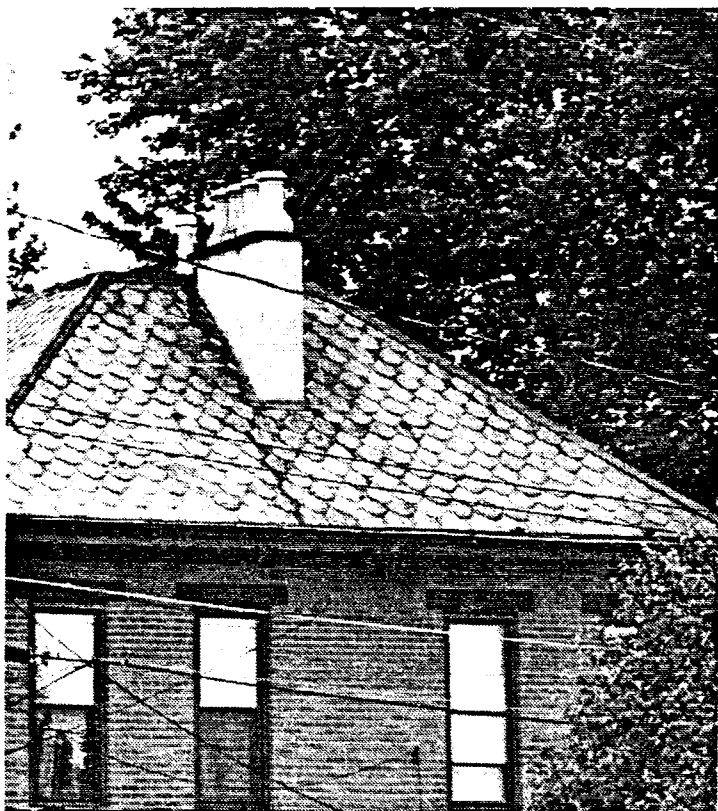
Place special features, such as hot tubs, swimming pools, playhouses, gardening sheds, greenhouses, and play houses in a recessed area of the site.

Use landscaping materials or opaque fencing to screen the feature from public view.

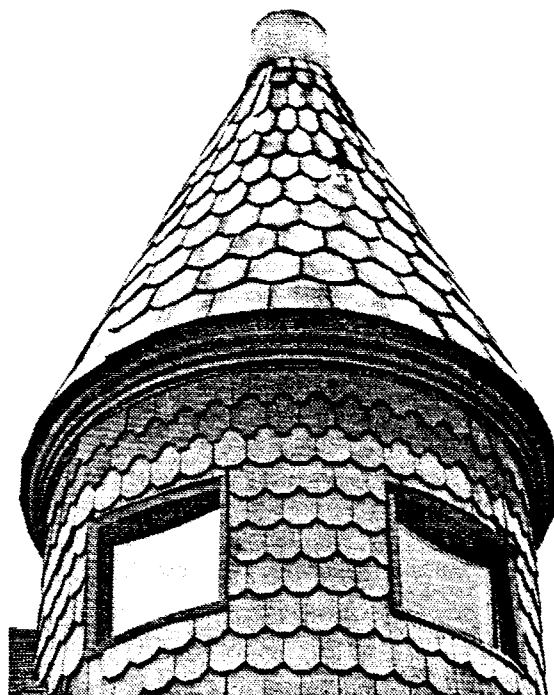
**NOT APPROPRIATE:**

Greenhouses, playhouses or gardening sheds should not dominate the site.

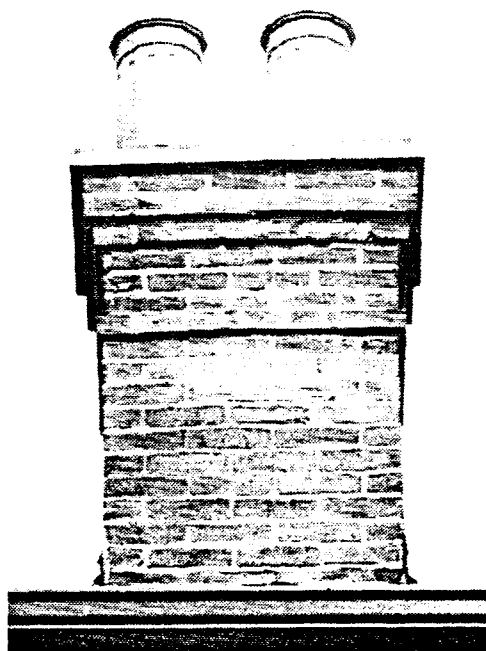
Satellite dishes and antenna towers are not appropriate in Historic Districts.



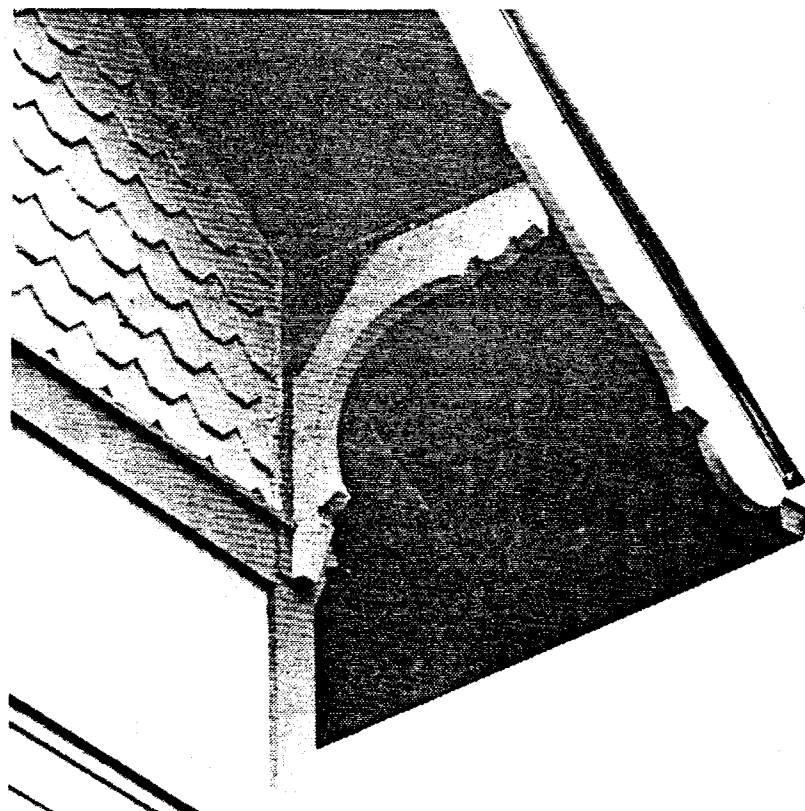
59-61 Hull Alley  
Original slate roof with ridge metal and chimney pots



818 Kerr Street  
Slate Roofed Turret



106 E. Lincoln Street  
Chimney Pots



96 E. Lincoln Street  
Roof overhang with brackets & exposed rafters

Roofs contribute greatly to the character of Italian Village through their size, shape, color and special details. Hipped or gabled roofs are most common in the Village. Many of the Italianate houses are characterized by their low-pitched hipped roof. Queen Anne houses are more likely to have a steeply-pitched hipped roof with a cross gable to the front. Small cottages tend to have gabled rooflines. In addition, a small number of Mansard roofs also exist in Italian Village. Residential rowhouses and commercial buildings usually have flat roofs.

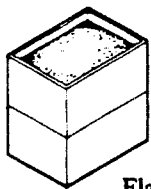
Slate roofs were the most common roof material on sloped roofs in Italian Village. Built up roof systems or metal were the most common material on flat roofs. Other materials used included wood shingles, metal, clay tile, asphalt shingles and rubber membranes (on flat roofs). Slate is the preferred new roofing material in Italian Village, for sloped roofs. If asphalt shingles are used they must be of a slate color.

Since the roof suffers from constant exposure to the elements, it must be regularly inspected and repaired to provide protection for the rest of the building. Otherwise, problems with the roof may not be evident until damage appears on the interior. If evidence shows a roof to be too deteriorated to repair, it should be replaced with in-kind materials. The color of replacement materials should match the color of the original materials. Most roofs in Italian Village are a slate gray color.

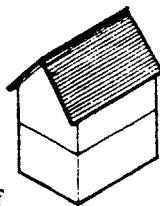
If an applicant proposes to replace an existing slate roof with a new asphalt or fiberglass shingle roof, the following documentation must be presented to the Commission:

1. Photographic documentation of the deteriorated condition of the existing roof
2. Cost estimates for repair of the existing roof with matching slate
3. Cost estimates for the new roofing materials

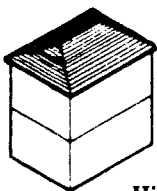
Applicants should be aware of the fact that replacement of a slate roof with an asphalt or fiberglass shingle roof includes more than the cost of the roofing materials. There are additional costs in removal of the slate, re-sheeting the roof, installation of roofing felt between the sheeting and the shingles, replacement of flashings, and in most cases, replacement or repair of the gutter system. Applicants should be sure to include all of these costs when considering replacement of a slate roof. Applicants should also be aware of the life expectancy of roofing materials. Asphalt and fiberglass shingles have a life expectancy of 20 to 25 years, while a slate roof has a life expectancy of 100+ years.



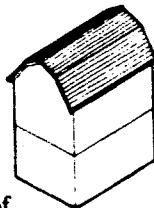
Flat Roof



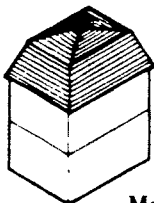
Gabled Roof



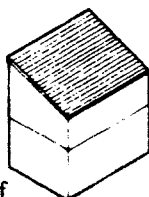
Hipped Roof



Gambrel Roof



Mansard Roof



Shed Roof

**APPROPRIATE:**

Regularly inspect and maintain the building's roof.

Preserve the original shape and pitch of the roof. Flat roofs should remain flat; gabled roofs should remain gabled.

Repair roof with materials that match the existing roof materials.

**NOT APPROPRIATE:**

Poor maintenance is not a justification for roof replacement. Do not ignore repairs until the situation requires roof replacement.

Do not change the appearance of the roof by adding a pitched roof to a flat roof, or by altering the shape of a gabled, hipped or mansard roof.

Repairing or replacing a roof with new materials that differ in color, shingle size, and other qualities, from the original roof is not appropriate.

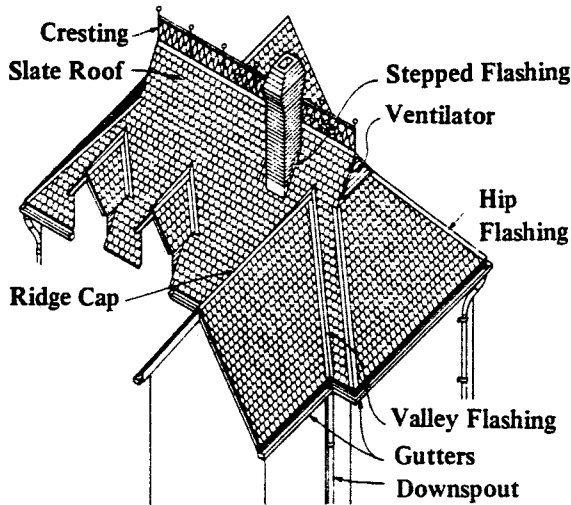
**REFERENCES & RESOURCES:**

*Preservation Brief 4 - Roofing for Historic Buildings*, Sarah M. Sweetser - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, DC 20402

*Old House Journal, May 1980* - Copies of Old House Journal are available at the Northside Branch of the Columbus Public Library

Roof cresting and ridge metal are decorative features that are found on some Italianate and Queen Anne houses in Italian Village. Roof cresting is highly ornamental trim, usually made of cast iron, that is found at the roof ridge of a house or sometimes a porch. Metal flashing that is placed on ridges and in valleys of the roof is also very functional: it is placed over joints of the roof to make it watertight.

Always keep metal flashing in good repair so that it can serve its important function of keeping water from seeping into joints. When repairing metal features, be sure to use nails and/or pieces of the same or a compatible metal to prevent galvanic action and any resulting corrosion.



**APPROPRIATE:**

Keep sheet metal and cast iron features painted. Allow copper to weather in its natural state.

Retain decorative roof cresting by making necessary repairs and in-kind replacement of parts as needed. If flashing is deteriorated, it can be replaced with the same metal or with terne or copper.

When the existing roof contains hip or valley flashing, these features must be duplicated if a roof is replaced.

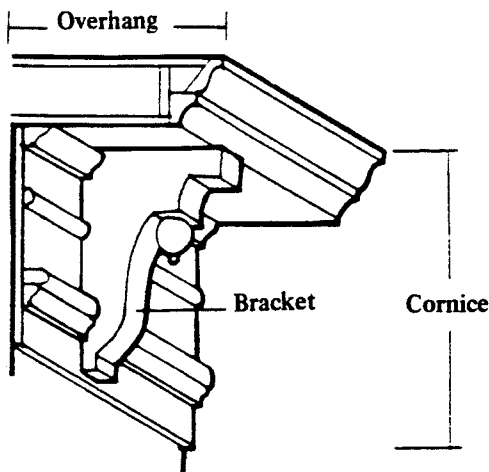
**NOT APPROPRIATE:**

Original ornamental roof or porch cresting should not be removed, as it is an important architectural detail.

Adding ornamental roof cresting to a building is not appropriate unless evidence shows that it is an original detail of the structure.

CORNICES, FRIEZES AND EAVE TRIM:

The cornice and frieze are decorative elements marking the juncture of the wall and roof on a building. A projecting cornice with brackets and frieze is a common feature on Italianate and some Queen Anne style buildings in Italian Village. Brackets are evenly spaced, and sometimes paired. Cornice, frieze and bracket details are usually constructed of wood. Eaves are the part of the roof which overhangs the building's walls; the eave may be trimmed with a wood molding or may have exposed rafters underneath.



**APPROPRIATE:**

Retaining and repairing existing cornices, friezes, brackets and eave trim is the most appropriate treatment.

If replacement is necessary because of extreme deterioration, or portions are missing, duplicate the shape, size and details of the original feature with in-kind materials.

**NOT APPROPRIATE:**

Removing cornice, brackets, or other decorative elements from a building is not appropriate, as it destroys significant architectural details.

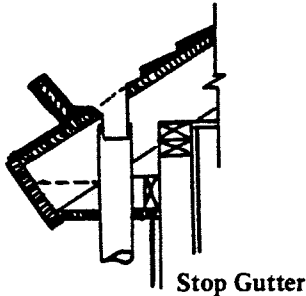
Covering up or 'boxing in' existing cornices or eaves with artificial siding or other materials is not appropriate treatment.

The size and shape of the building's eaves should not be altered to accommodate new gutters.

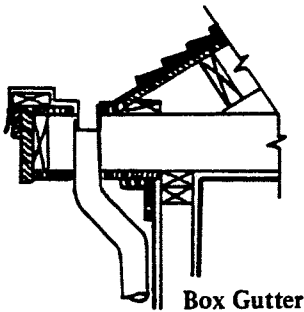
Types of gutters in Italian Village include box gutters, suspended gutters and stop gutters. Box and stop gutters are built into the roof eaves. The suspended gutters can be half-round or ogee-shaped and are suspended from the building's eaves. Box gutters are often found on hipped roofs. Gutters and downspouts were designed to be an important functional and visual characteristic of the building.

Damaged wood gutters can be repaired and joints re-caulked. Wood gutters should be relined, if necessary, with either sheet metal or a flexible rubber membrane with few seams. Metal gutters can be patched and repainted.

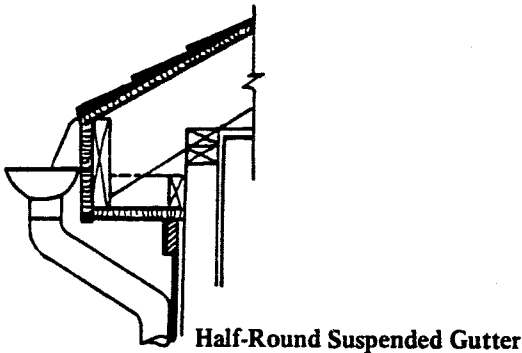
### TYPES OF GUTTERS



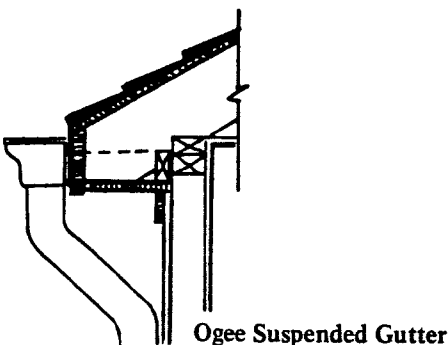
Stop Gutter



Box Gutter



Half-Round Suspended Gutter



Ogee Suspended Gutter

### APPROPRIATE:

Maintain original gutters and downspouts in good repair.

If replacement is necessary, use the same type of gutter as originally used on the building.

Paint gutters and downspouts to match or be compatible with the trim colors on the building.

Locate downspouts on the rear and sides of the building, and preferably at the corners.

Make sure downspouts terminate in a splashblock to divert water away from the building's foundation.

### NOT APPROPRIATE:

Replacing a gutter type with something other than an exact match is not appropriate, unless it can be shown that the replacement gutter is historically correct, and original to the structure.

Replacing box or stop gutters with suspended gutters is not appropriate. This type of replacement changes the appearance of the cornice and roof detail.

Do not allow the gutters and downspouts to fail, as it causes damage to the rest of the building.

### REFERENCES & RESOURCES:

*Old House Journal* - October & November 1979 - (Out of Print)  
Copies of back issues of *Old House Journal* are available at the Northside Branch of the Columbus Public Library.



Many of the residential buildings in Italian Village are wood frame construction with exterior wood siding. Two types of wood siding predominate. One is drop siding (strips of wood pieced together to result in the appearance of a flat wall with horizontal grooves). The other is clapboard siding (narrow, horizontal strips of wood, slightly thicker at the bottom, that overlap). Each type is accompanied by vertical boards at each corner of the building. Wood shingles and vertical board & batten types occurred in Italian Village, but were rare.

The application of vinyl or aluminum siding to a frame house can result in loss of the original appearance. Frequently, the building's window and door trim, cornerboards, soffits and fascia are removed or altered during the installation of vinyl or aluminum siding. Even when these important features are left intact, the profile of the existing trim is altered. Because aluminum and vinyl siding does not breath, moisture can be trapped in the wall, leading to deterioration and rot, as well as peeling paint and damaged walls.

In spite of advertisements to the contrary, aluminum and vinyl sidings are not maintenance free. Aluminum siding is easily dented, vinyl can be torn and becomes brittle and can crack in cold weather. Unlike wood, repair to aluminum and vinyl siding is extremely difficult. The color of aluminum and vinyl siding can fade and eventually it needs to be painted. Neither aluminum or vinyl has the proven life expectancy of properly maintained wood siding.

**APPROPRIATE:**

Repairing and preserving original wood siding is the preferred method.

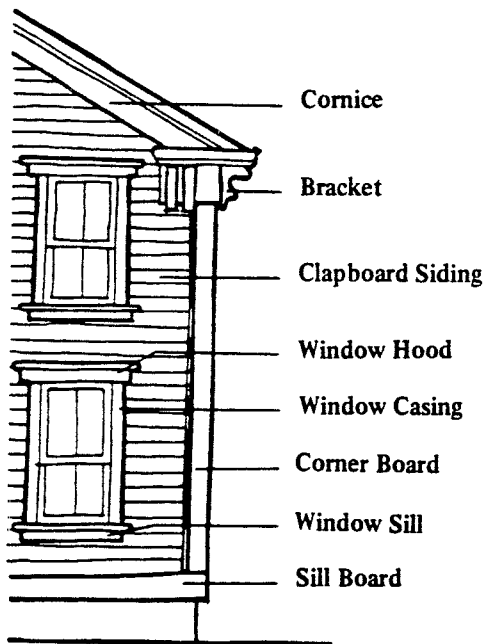
Removal of non-original wood shakes, asphalt or asbestos shingles and restoration of the wood siding to its original condition is encouraged.

Repaired or replaced wood siding must match the existing original siding in appearance.

Painting is the appropriate treatment for wood siding. Avoid varnishes, stains and bare, weathered wood. If paint will not adhere to the wood siding, investigate the cause of and cure for the problem.

Whenever slate appears as a siding material, it should be retained and repaired with slate.

If vinyl or aluminum siding is approved by the Commission, all architectural detailing must be retained. The width and profile of the new siding must match the original. All window trim, door trim, cornerboards, soffits and facias must be maintained.



## NOT APPROPRIATE:

Vinyl or Aluminum siding is not appropriate unless all other courses of action have been explored and documented as unworkable.

Textured and wood grained sidings are never appropriate, for replacement siding in Italian Village.

Diagonal or vertical siding is not appropriate unless historical documentation is provided, showing that it was original to the structure.

The use of Insulbrick shakes, stone veneer or other materials that alter the historic appearance of the structure are not appropriate.

With few exceptions, adding 'fish scale' or other decorative wood shingles is not appropriate.

Covering or removing any original siding for ease of maintenance is not appropriate.

## REFERENCES &amp; RESOURCES:

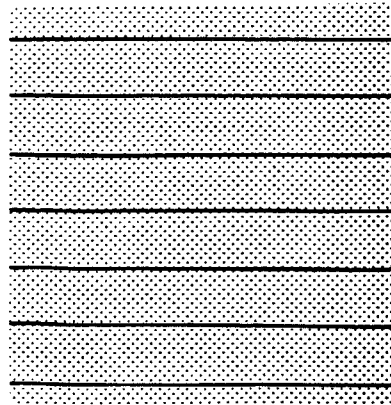
*Preservation Brief 8 - Aluminum and Vinyl Siding on Historic Buildings* - John H. Myers, revised by Gary L. Hume - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.

*Preservation Brief 10 - Exterior Paint Problems on Historic Woodwork* - Kay D. Weeks and David W. Look - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D. C. 20402.

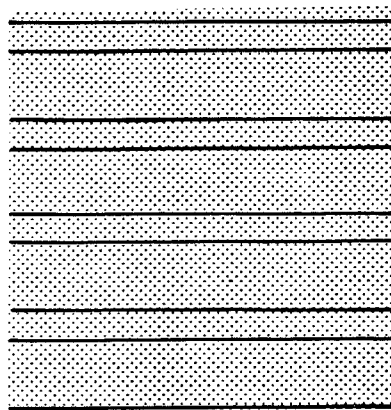
*Preservation Brief 16 - The Use of Substitute Materials on Historic Building Exteriors* - Sharon C. Park, A.I.A., Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.

*Old-Building Owner's Manual* - Judith L. Kitchen, Ohio Historical Society, 1982 Velma Ave., Columbus, OH 43211

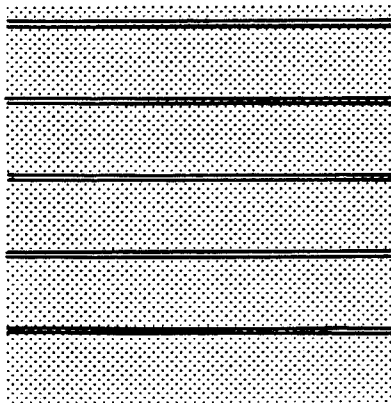
*Epoxies for Wood Repair in Historic Buildings*, Morgan W. Phillips, Dr. Judith E. Selwyn, Preservation Assistance Division, National Parks Service, U.S. Department of the Interior, P.O. Box 37127, Washington DC 20013.



Beveled Board

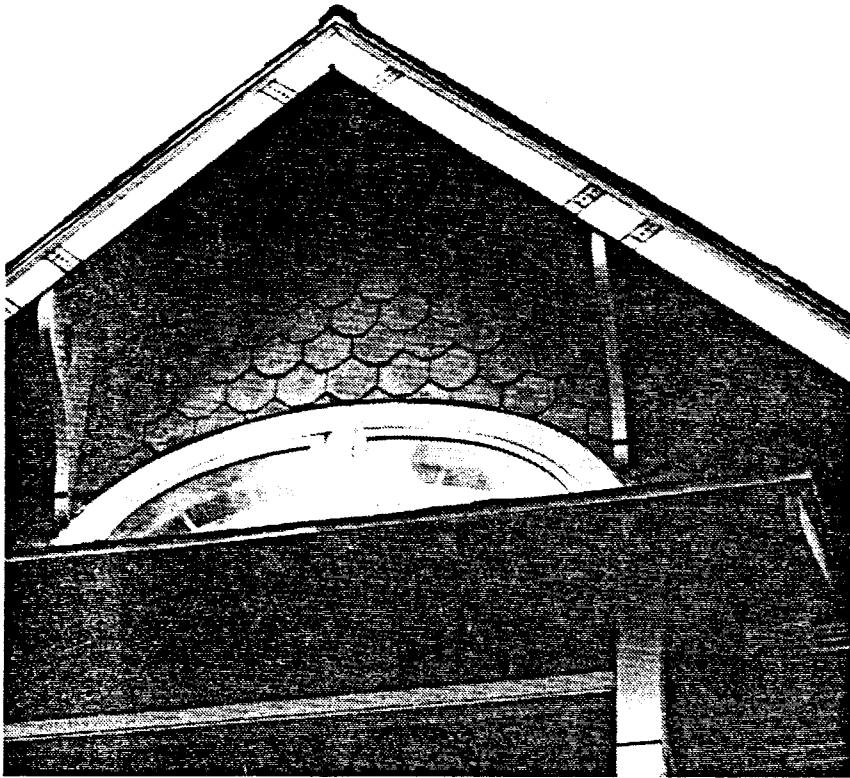


Simple Drop

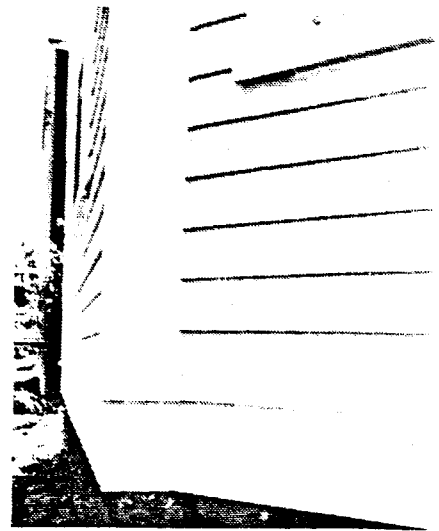


Shiplap

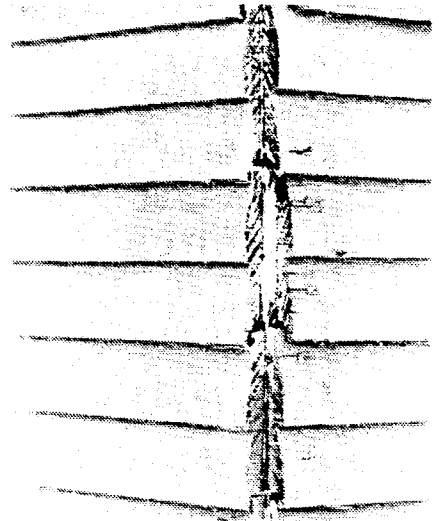




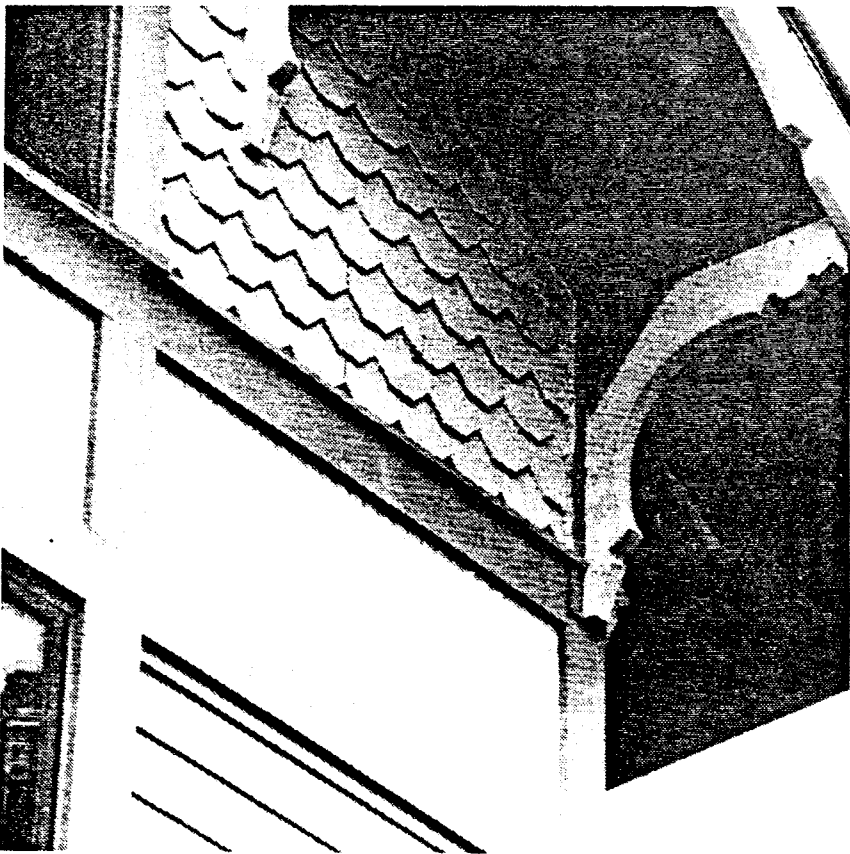
86 E. Warren Street  
Slate used as siding material



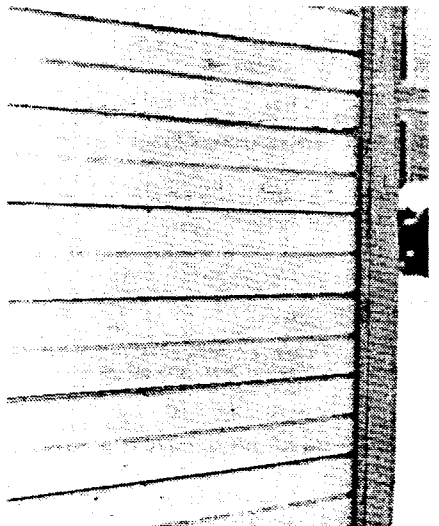
731 Kerr Street  
Beveled Board Siding



1091 Say Avenue  
Drop Siding



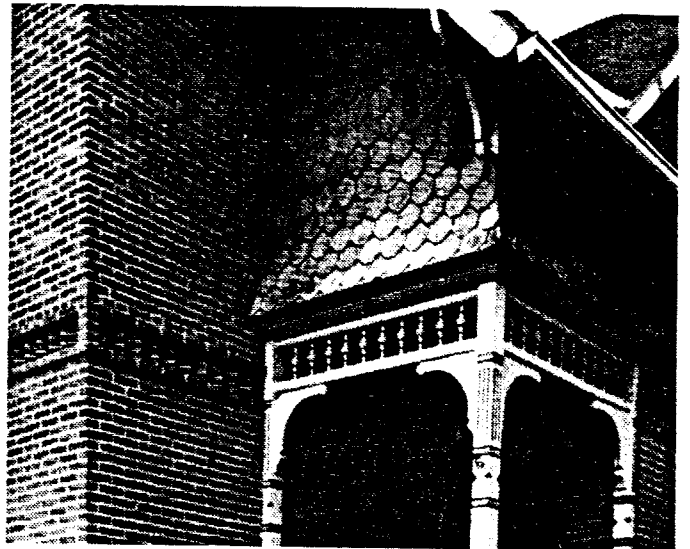
96 E. Lincoln Street  
Horizontal, Vertical & Fish Scale Siding



1098-1100 Say Avenue  
Shiplap Siding



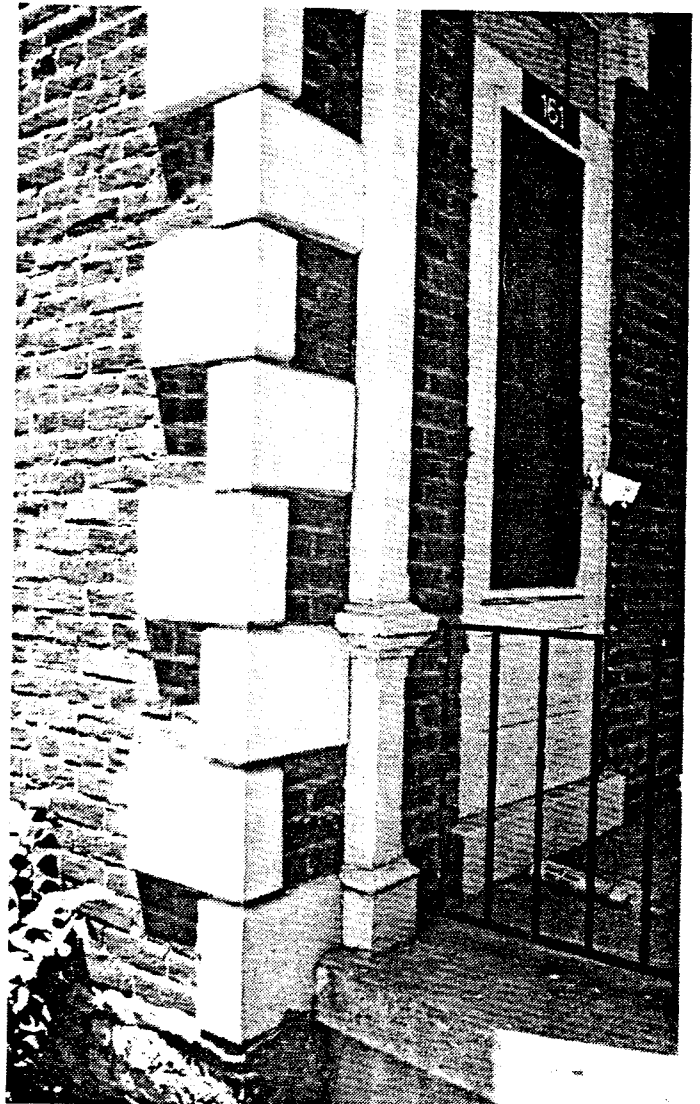
97 E. Lincoln  
Carved Lintel & Hoodmolds



86 Warren Street  
Decorative Brickwork



772 N. High Street  
Carved Stone Detailing



161 Warren Street  
Limestone Quoins



31 E. Second Avenue  
Light & Dark brick on front of building,  
with common brick used on sides & rear

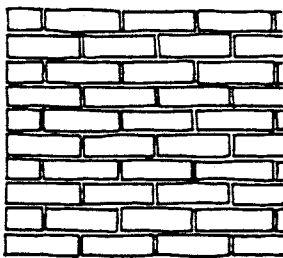
Masonry features and surfaces are important in defining the historic character of a building. While masonry is among the most durable of historic building materials, it is also the most susceptible to damage by improper maintenance and repair techniques and by harsh or abrasive cleaning methods. Although once popular, sandblasting can cause irreparable damage, and is no longer allowed in Italian Village.

The brick walls of most houses were simple in design. Standard sized bricks were almost always laid in a 'common bond' pattern of five to seven rows of stretchers (the long side) separated by a single row of headers (the short end). Some of the buildings have pressed-brick facades with common brick making up the side and rear walls. Pressed brick is denser, less porous and has a more uniform color than common brick. These denser, harder bricks were used on the outer face of a wall, while common bricks were used on the other walls.

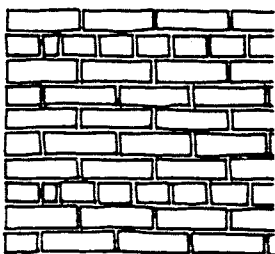
Before making a decision to clean masonry, assess the reasons for cleaning. Quite often what appears to be dirt is simply the patina of age and weathering, which any brick or stone surface will acquire through years of exposure to the elements. If a decision is made to clean the building, select the gentlest means possible. Sandblasting and other abrasive cleaning methods remove the hard, weatherproof outer surface obtained in the firing and drying process.

Investigate the reason for the building being painted prior to removing the paint. Some brick buildings were painted originally. They may have been painted to preserve severely deteriorated masonry or to hide unsightly masonry. In such cases the proper choice is to continue painting.

**COMMON ITALIAN VILLAGE  
BRICK BONDING PATTERNS**



**Stretcher or Running Bond**



**Common or American Bond**

**APPROPRIATE:**

Maintain the patina of age and weathering which brick or stone will acquire through years of exposure to the elements.

If cleaning is undertaken, begin with the gentlest means possible.

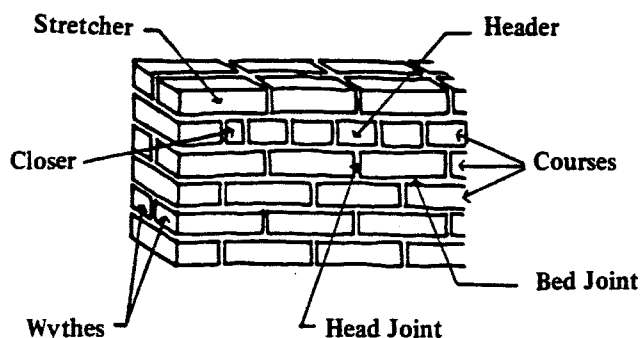
Detergent or chemical cleaners should be tested on an inconspicuous patch of wall for effectiveness. Exercise extreme caution when using any chemicals. Seek the advice of a professional when this method has been selected for building cleaning.

If a pressure water wash is used, either as a cleaning method in and of itself, or to remove chemical cleaners, the water pressure should be less than 300 pounds per square inch.

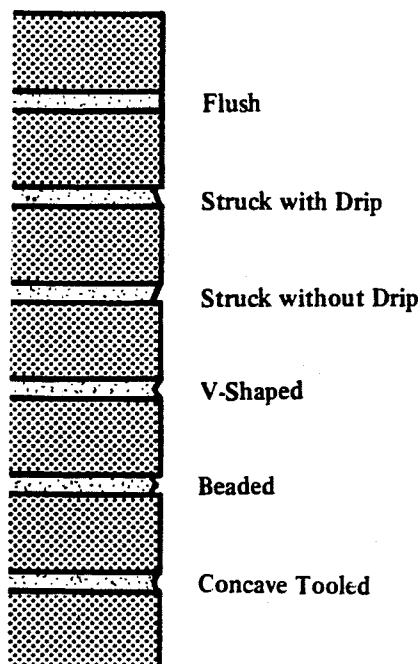
Mortar used in the repointing should match the original mortan in composition, texture, color and appearance.

Maintaining painted masonry is appropriate when research shows that the building was painted originally, or early in its life. Retaining paint may be desirable because of the harshness of cleaning processes.

## PARTS OF A BRICK WALL



## TYPICAL MORTAR JOINTS



## NOT APPROPRIATE:

Sandblasting or other abrasive cleaning methods are not appropriate because they damage the masonry materials.

Do not chemically clean limestone or marble with acidic products, as they will dissolve the stone material.

Masonry sealers, such as silicone, that will keep out liquid water, but not water vapor, should be avoided. Once it penetrates the masonry, vapor can condense into liquid water that the sealer traps inside the wall.

Masonry that has not been painted in the past should not be painted, especially window lintels and sills and other stone trim.

Stucco, permastone and 'asphalt paint' should not be used on brick, as it damages the appearance of the masonry.

Do not attempt to remove stucco from a brick structure, as it can cause severe damage to the original masonry.

Repointing with mortar containing a high content of portland cement is not appropriate. Portland cement sets up harder than historic mortar. It will expand and contract at a different rate, from the original mortar, causing the bricks to crack and spall.

## REFERENCES &amp; RESOURCES:

*Masonry, How to Care for Old and Historic Brick and Stone* - Mark London, The National Trust for Historic Preservation, 1785 Massachusetts Ave., N.W., Washington, D.C. 20036

*Old-Building Owner's Manual* - Judith L. Kitchen, Ohio Historical Society, 1982 Velma Ave., Columbus, OH 43211

*Preservation Brief 1 - The Cleaning and Waterproof Coating of Masonry Buildings* - Robert C. Mack, A.I.A., - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.

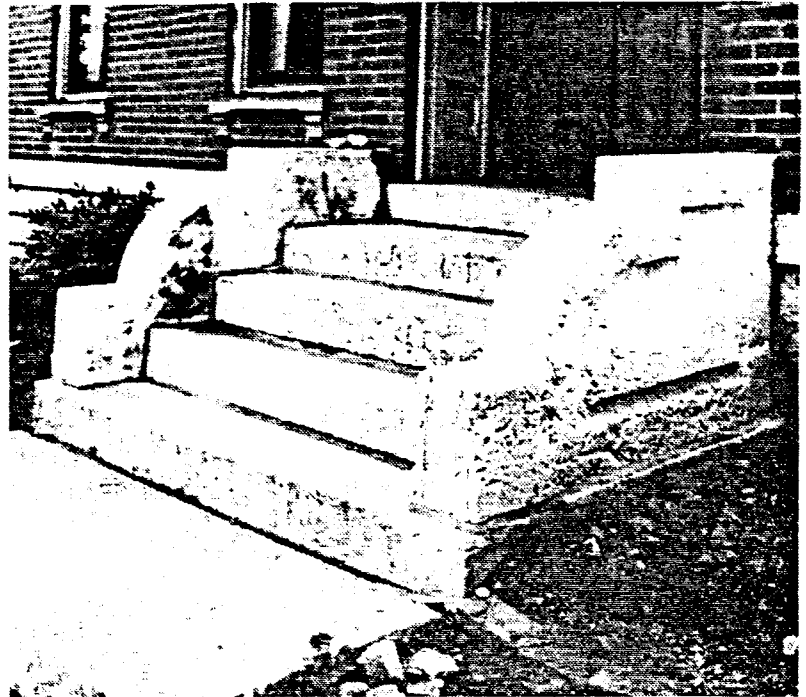
*Preservation Brief 2 - Repointing Mortar Joints in Historic Brick Buildings* - Robert C. Mack, A.I.A., de Teel Patterson Tiller, James S. Askins - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.

*Preservation Brief 6 - Dangers of Abrasive Cleaning to Historic Buildings* - Anne E. Grimmer - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.

*Preservation Brief 7 - The Preservation of Historic Glazed Terra-Cotta* - de Teel Patterson Tiller - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.



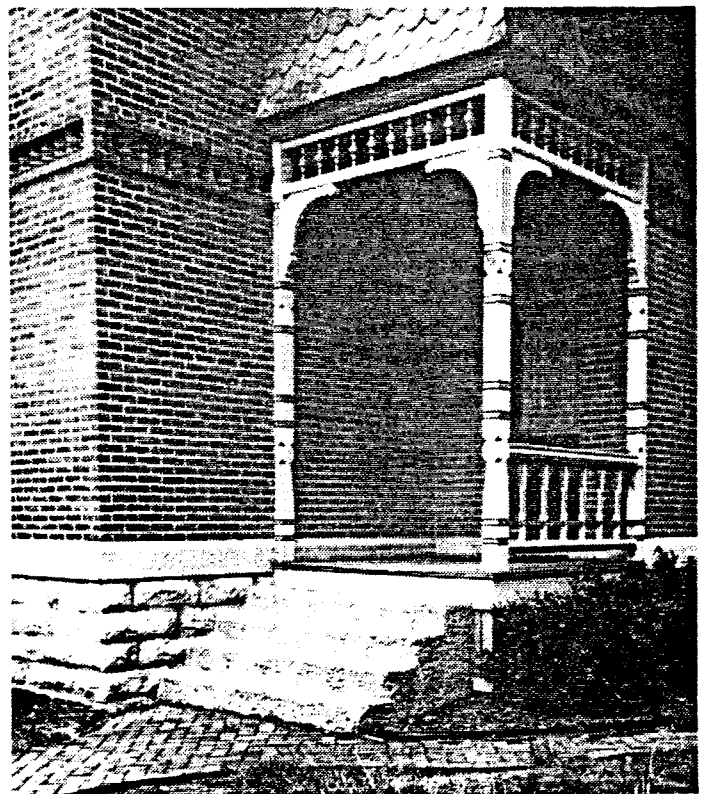
50 E. Lincoln Street  
Faced & coursed Ashlar



166-168 Warren Street  
Faced stone steps & stoop



10-26 E. Russell Street  
Faced stone steps



86 E. Warren Street  
Original stone foundation & water table with new concrete steps

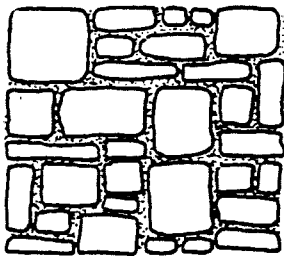
A sound foundation is vital to the structural integrity of a building. Most of the foundations in Italian Village are made of Limestone, roughly shaped into blocks. Typically, residences have two to four feet of foundation wall exposed above grade to allow for crawlspaces and basements to be ventilated. On brick structures, a decorative stone waterable tops the foundation.

Proper maintenance and protection from moisture are critical to the foundation's soundness. Routine maintenance includes periodic inspection, repointing of mortar joints, and making sure proper drainage occurs. When repointing the foundation is necessary, it is important to use the proper mortar type. Mortar with high amounts of portland cement will cause the mortar to crack and fall out.

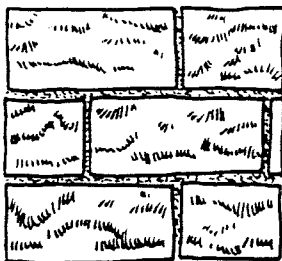
In renovation work, original materials, colors, and textures should be maintained. Window openings should be maintained to allow for proper ventilating of the basement or crawlspace. New foundations, on building additions should match the existing foundation in scale and texture. If stone facing is not feasible, split face concrete block in a color similar to the original foundation material is acceptable.

Basement and crawlspace windows should not be eliminated. If security is a problem, plywood (painted dark gray), metal grates or metal bars can be added on the inside of the opening. The original character of the opening must be maintained.

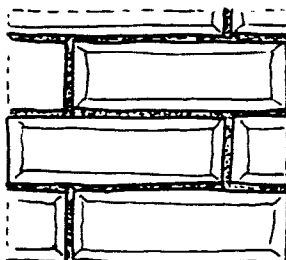
TYPICAL FOUNDATION TREATMENTS



Squared & Coursed Rubble



Faced Coursed Ashlar



Rusticated Coursed Ashlar

APPROPRIATE:

If cleaning is undertaken, it should be done with the gentlest means possible.

If repointing is necessary, the new mortar should match the existing mortar in composition, texture and color.

NOT APPROPRIATE:

Sandblasting is not an appropriate cleaning method for foundations as it damages the original material.

The original foundation materials should not be covered up with stucco, concrete or other materials.

Masonry sealer should not be used on foundation materials, as it can trap moisture inside the masonry wall.

Unpainted foundation materials should be left unpainted.

REFERENCES & RESOURCES:

*Masonry: How to Care for Old and Historic Brick and Stone* - Mark London, The National Trust for Historic Preservation, 1785 Massachusetts Avenue, N.W., Washington, D.C. 20036

*Old-Building Owner's Manual* - Judith L. Kitchen. Ohio Historical Society, 1982 Velma Ave., Columbus, OH 43211

*Preservation Brief 2 - Repointing Mortar Joints in Historic Brick Buildings* - Robert C. Mack, A.I.A., de Teel Patterson Tiller, James S. Askins - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402



Porches in the area are typically wood with limestone steps up to the first floor level. Most porches are recessed from the front of the building because of an L-shaped or T-shaped floor plan. Main entrances on the face of buildings often have limestone steps with or without side walls.

**APPROPRIATE:**

Repair and preserve original porch materials. Replace wood columns and trim where deteriorated with sections that duplicate the originals.

If a porch is to be added where one has been removed in the past, the new porch should be in an architectural style, scale and character compatible with the building.

Tongue and groove flooring must be used when replacing wooden porch flooring.

**NOT APPROPRIATE:**

Removing a porch or stoop, or any original features such as spindels, brackets, balusters, decking or stone steps is not appropriate.

Wrought iron porch columns are not in keeping with the original character of porch detailing in Italian Village.

The scale, style and proportions of the original porch columns must be maintained, when deteriorated columns are being replaced.

Replacing original porch flooring with concrete, brick, or two-by-six decking materials is not appropriate.

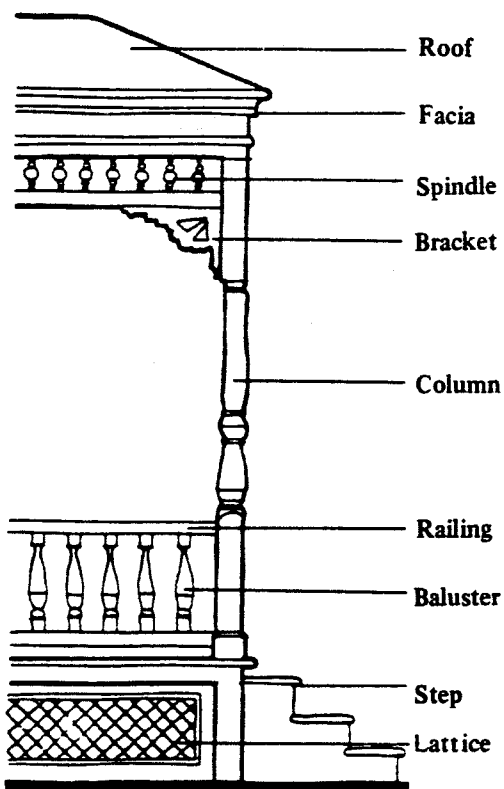
Unpainted lumber (including pressure treated lumber) should not be used for porches. Traditionally, all exterior wood was painted.

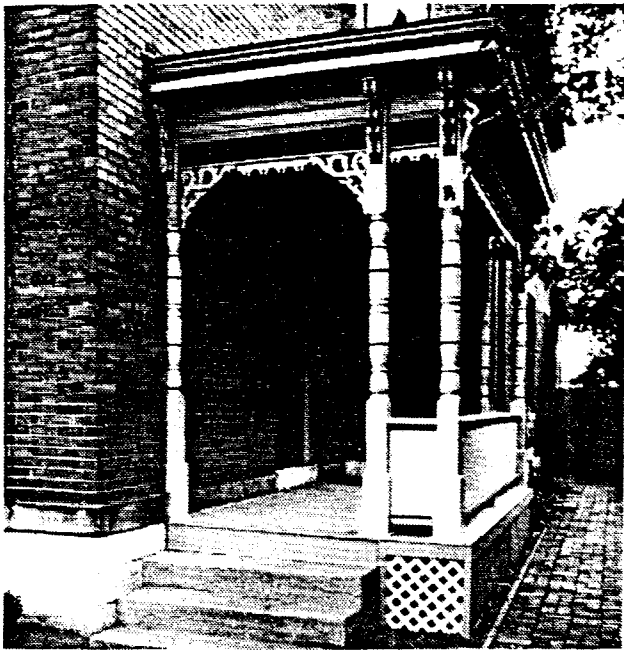
Adding brick piers to the base of porch columns or railings is not appropriate unless brick piers are original to the structure.

Covering porch floors and/or steps with carpet or artificial turf is not appropriate.

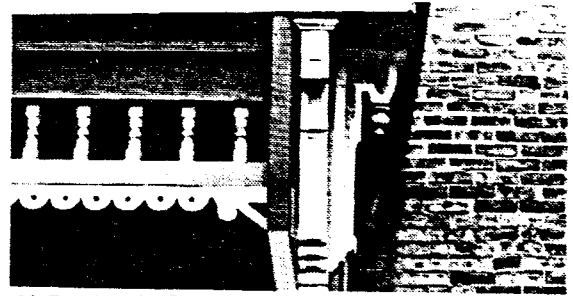
Enclosing porches to create an entryway or room is not appropriate.

Awnings may not be used as a replacement for a porch that has been removed.

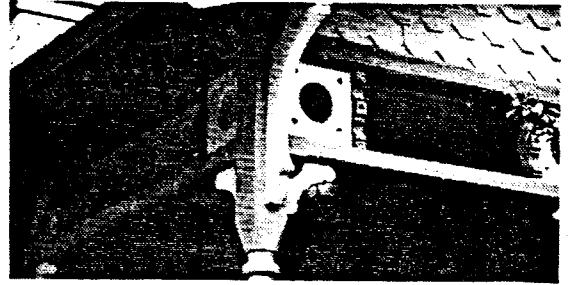




29 E. First Avenue  
Original Porch



50 E. Lincoln Street  
Original porch detailing



96 E. Lincoln Street  
Original porch detailing



778 Kerr Street  
Original porch columns & railings



837 Hamlet Street  
Original porch with replacement  
balusters, rails and decking



108 E. Lincoln Street  
Replacement columns



Summit Street (Warren to First)  
Simple shed roofs over stoops



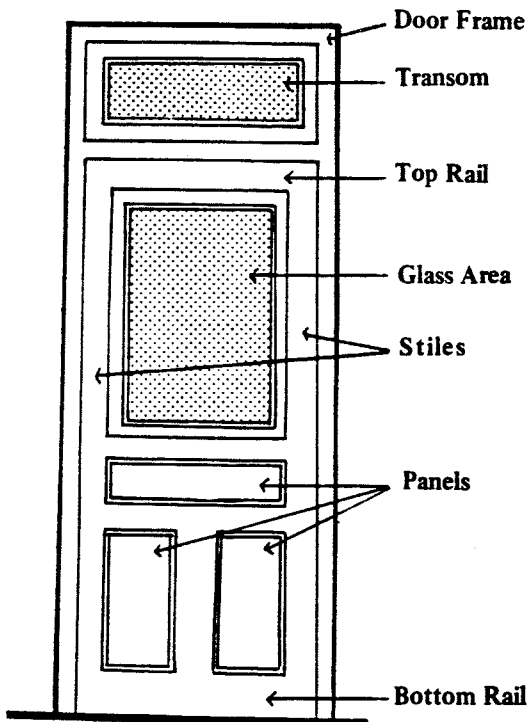
40-41 E. Second Avenue  
New Porch

Traditionally, two types of doors were used in Italian Village, the more elaborately designed main entry doors, and the simpler designed secondary entry doors. The more elaborately designed main entry doors almost always contained 50% to 70% glass. The secondary entry doors are usually located on the back or sides of the building. These doors usually are simple in style, such as panel (4 to 5 panels) doors, or two panel doors with glass.

When replacing doors, the original style and size must be matched as closely as possible. It is important that the original door opening not be altered (made smaller or larger) to accommodate the new door. If a transom or side lights are present, they must be retained in their original size and shape.

In some cases the original door may have been removed. Replacement doors for primary entries should be made with doors that are either full glass, fifty to seventy percent glass with a panel below, or paneled doors with four or five panels. Replacement doors for secondary entry doors should be made with doors that are either fifty to seventy percent glass with panels below or with paneled doors that contain four or five panels. Transoms and side lights must be retained in their original size and shape. The replacement door must fit the original opening size.

Applicants should be aware of the fact that metal doors do not necessarily provide additional security, if first floor windows are present. A solid core wooden door provides the same security as a metal door. Wooden doors, when fitted with weather stripping, are better insulators than metal doors, since they breathe (expand and contract) with the building.



#### APPROPRIATE:

Existing original doors should be repaired and retained.

Transoms and side lights must be retained in their original size and shape.

Missing or badly deteriorated doors should be replaced with a style that was traditionally used in Italian Village.

#### NOT APPROPRIATE:

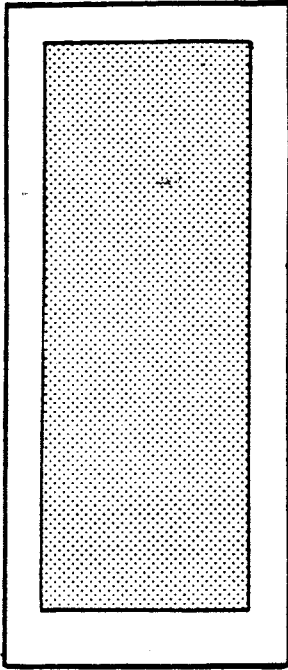
Flush-faced and six-paneled doors are not appropriate, as they are not styles that were traditionally used in Italian Village.

Doors with panel designs that are not traditional to Italian Village are not appropriate replacement doors.

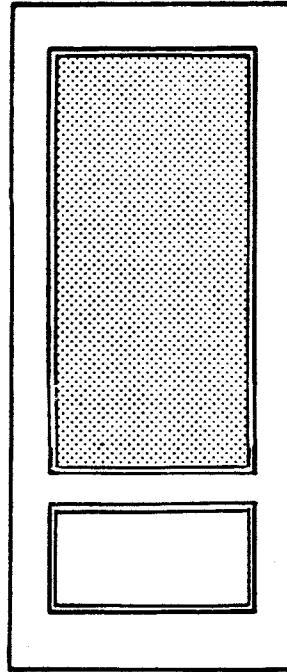
Doors with glass designs that are not traditional to Italian Village are not appropriate replacement doors.

Older style doors, that have been removed from another older structure are not appropriate replacement doors, unless documentation can be provided showing that the style is original to the structure.

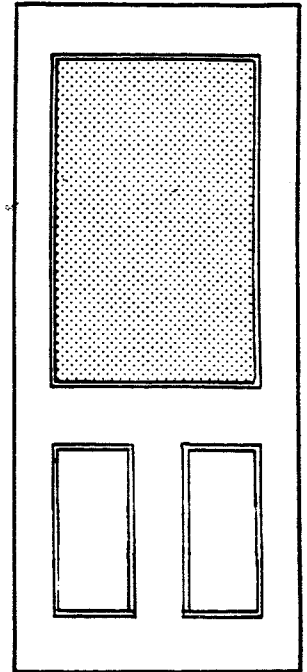
NOTE: When selecting an appropriate replacement door, the relationship of the upper panels to the lower panels is very important. Upper panels make up from 60 to 70 percent of the total door area and lower panels make up from 30 to 40 percent of the total door area.



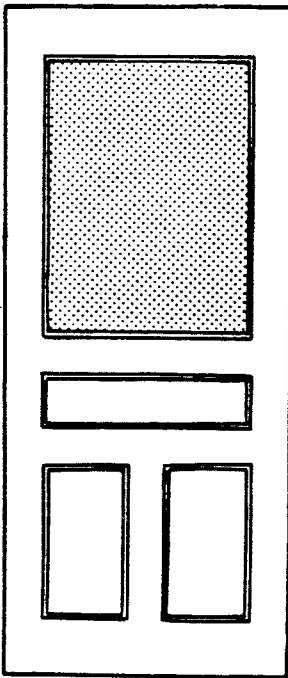
Full Glass



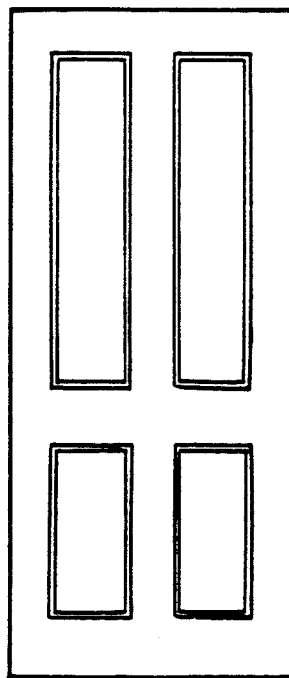
Single Panel with Glass



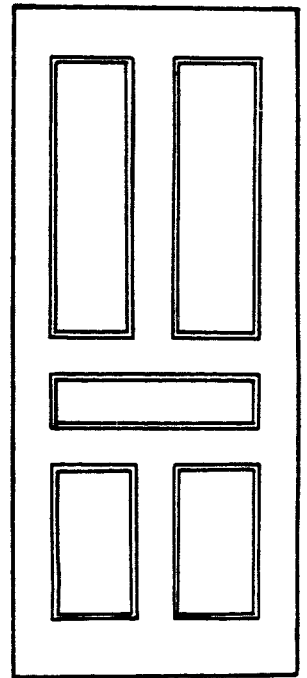
Two Panel with Glass



Three Panel with Glass



Four Panel



Five Panel

6

Wooden screen doors were a common feature on homes in Italian Village. Wooden screen doors are the preferred style for replacement screen doors, as well as the preferred style when adding screen doors to a building in Italian Village. Metal screen doors are acceptable, if they are compatible with the style of the main door, which they cover. Full view screen doors are preferred, however, screen doors that have a solid lower panel will be allowed, if the panel is compatible with the panel style of the main door, which it covers.

Storm doors are sometimes necessary, to help insulate around an entry door. Storm doors should be of a color that is compatible with the color scheme of the building. Mill finish storm doors are not acceptable. Full glass storm doors are preferred. However, storm doors that have a solid lower panel will be allowed, if the panel is compatible with the panel style of the door it covers.

**APPROPRIATE:**

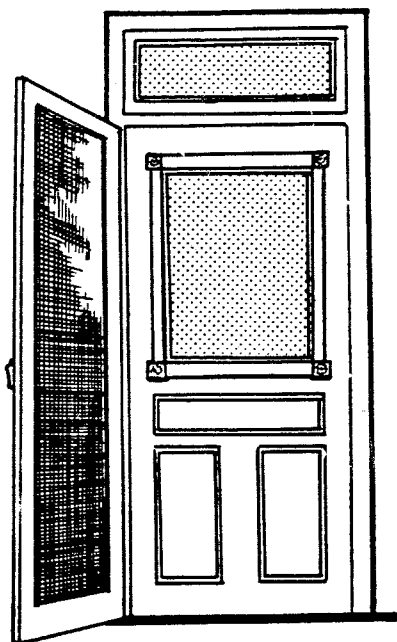
Wooden screen doors are preferred.

Metal screen doors are appropriate if they are a 'full-view screen' style.

Metal screen doors that have a screen above, and a panel below are acceptable if the style is compatible with the main door.

Metal storm doors that are 'full glass' style are preferred.

Metal storm doors that have a glass above and a panel below are acceptable if the style is compatible with the main door.



**Appropriate Storm Door on Entry Door**

**NOT APPROPRIATE:**

Screen or storm doors that are of a color that is not in keeping with the color scheme of the building are not appropriate.

Mill finish screen and storm doors are not appropriate.

White screen or storm doors are rarely approved. Colors, other than white, are more in keeping with the character of the area.

Crossbuck screen and storm doors are not appropriate in Italian Village, and will not be approved under any circumstances. (Crossbuck doors are those doors that contain an 'X' pattern in the lower panel.)

Windows are an important architectural feature, and add to the character of buildings in Italian Village. Repairing and preserving a structure's original windows is preferred in lieu of removal or replacement. In many cases only the sash may be missing, or in need of replacement. Often, the frames and trim are in good condition, and can be retained and repaired.

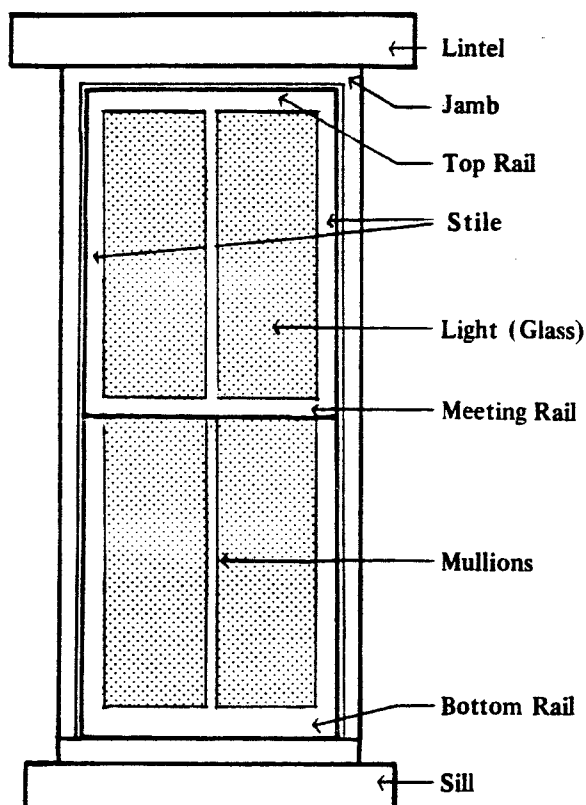
If the windows are badly deteriorated, or the majority are missing, then replacement is acceptable. Wood is the preferred replacement material. However, metal is also acceptable. When replacing windows, most standard modern sashes do not fit the tall windows of older buildings and may have to be made to order. It is important to match the original size. Under no circumstance should the original opening be made smaller or larger to accommodate the new window.. In most cases vinyl windows are not acceptable replacement windows. Most are constructed in a manner that increases the sash size and decreases the glass size.

Historically, glass was more expensive than wood. It is common, on older homes, to find one style of window on the front of the building, and another style on the sides and rear. Windows with larger (more expensive) glass areas were usually used on the front side. And, windows with smaller (less expensive) glass areas were used elsewhere. The most common style window in Italian Village is the one-over-one, double hung window. Two-over-two, double hung windows are also quite common. Four-over-four or Six-over-six windows are only found on the older structures (pre-1875)

If the original windows contain divided light (two-over-two, six-over-six, etc.) sashes, the mullions must be retained when replacing windows or window sashes. Replacement windows that have mullions located between two sheets of glass are not acceptable.

The elements surrounding the window, such as the sill, the lintel, and the cap are expressive of the character of the building. Under no circumstances should elements surrounding the windows be removed or modified.

PARTS OF A WINDOW

**APPROPRIATE:**

Repairing and maintaining the original window frames and sashes is preferred.

The original size of the window opening must be maintained when replacing deteriorated or missing sashes.

Wooden replacement windows are preferred. Metal replacement windows are acceptable, if they match the original windows in size, style and appearance. Vinyl replacement windows are rarely acceptable, as most vinyl replacement windows reduce the overall glass size.

Maintaining original window divisions, such as two-over-two, six-over-six, etc. is mandatory, when replacing any window sash. True divided lights are preferred. Divisions that are applied to the outside of the glass will be acceptable, if the size of the division matches the original divisions. Divisions that are located on the inside of the glass, or between two layers of glass are not appropriate.

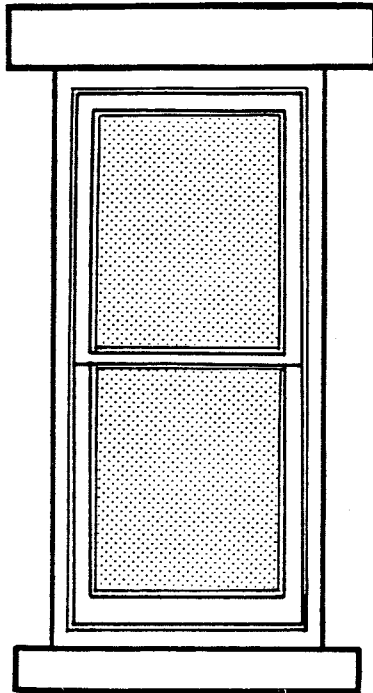
**NOT APPROPRIATE:**

Altering the size of the original window openings to accommodate 'pre-fabricated' replacement windows is not appropriate.

Changing the original shape of the window is not appropriate.

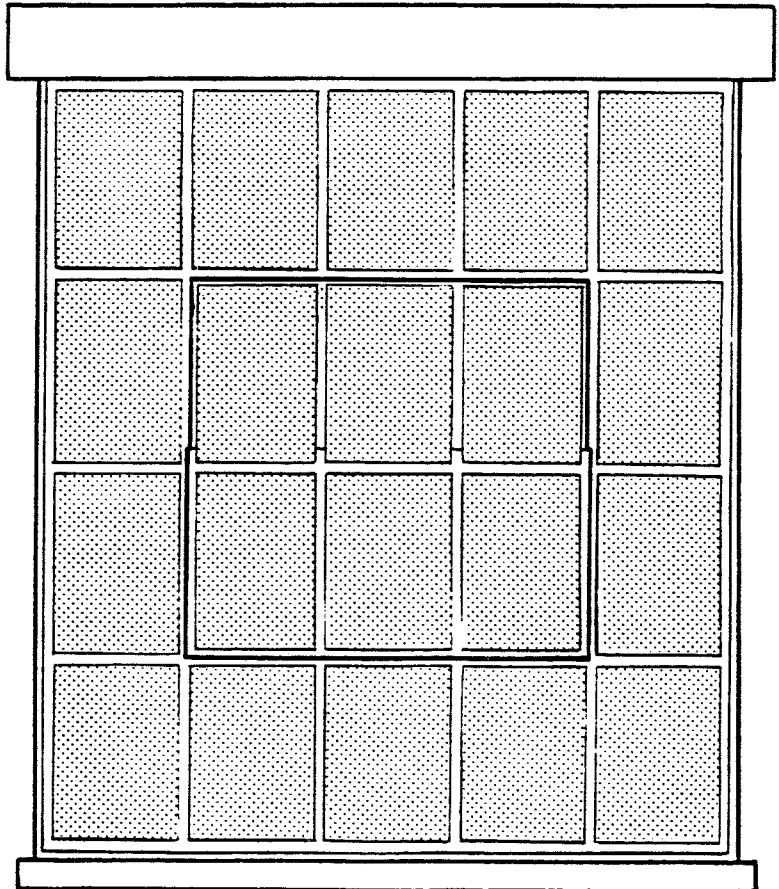
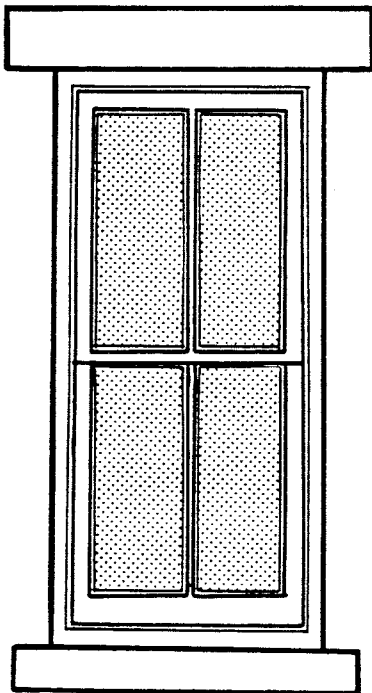
Windows should not be added, unless documentation can be provided to show that the window opening was original to the structure.

Windows should not be eliminated to accommodate modifications to the interior floor plan.



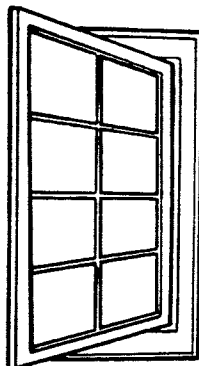
Double Hung Windows, such as the one-over-one (above) and the two-over-two (below) are the most common window types found in Italian Village. Maintaining the original windows is the most appropriate treatment. Replacement windows should maintain the original character of the opening.

Some six-over-six and four-over-four windows also exist in Italian Village. However, they are original only to residential structures built prior to 1875.



Projecting windows, sometimes called Awning (Bottom opening) or Hopper (top opening) were perfected in the 1920's for industrial and institutional buildings. These windows, as well as Pivot windows (which turn on a vertical or horizontal axis) are common on industrial buildings in Italian Village.

Maintaining existing Awning, Hopper and Pivot windows is the most appropriate treatment. These windows may be added to an industrial or institutional structure if historic evidence demonstrates that they were original to the structure. This type of window is not appropriate for residential structures.



Casement windows (either single, as shown, or paired) were popular in the 1920's for cottage style residences. A more streamlined casement was popular in the 1930's. Casement type windows exist on some 1920 through 1940 residential structures in Italian Village.

Maintaining original casement windows is appropriate. Replacement of other window types with casement windows is not appropriate.

Storm windows and screens are often added to older buildings to make them more energy efficient. A wooden window with a storm window will outperform a double glazed metal replacement window. Therefore, adding storm windows, to original windows is an acceptable solution to increasing a building's energy efficiency.

Storm windows should fit the original window openings without covering any of the original window detailing. Divisions in storm windows should be in line with divisions of the window they cover. Brown or bronze metal storm windows are preferred. White is acceptable only when it is compatible with the color scheme of the structure. Mill finish storm windows are not acceptable.

**APPROPRIATE:**

Wooden storm windows and screens are the most appropriate style for structures in Italian Village.

Brown or bronze metal storm windows are appropriate.

Colors that are custom ordered to match the color scheme of the structure are also appropriate.

**NOT APPROPRIATE:**

Storm windows and screens should not cover up the original window detailing.

Using single sheets of glass or plexiglass are not appropriate, except on transoms and single light windows.

Mill finish storm windows are not appropriate, as they are not in keeping with traditional color schemes.

In most cases, white storm windows are not appropriate.

Adding storm windows to some windows of a facade, and not to the other windows of the same facade is not appropriate.

**SKYLIGHTS:** 

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Skylights are not original features on structures in Italian Village. They are an acceptable addition if they are effectively placed and are not in conflict with the architectural character of the structure or damage historic building materials.

**APPROPRIATE:**

Skylights should be carefully placed to minimize their visibility from the street, and preferably only on secondary (rear) elevations.

Skylights must be either square or rectangular.

Skylights should have a low profile and be of a flat top design.

**NOT APPROPRIATE:**

Extremely large skylights, or clusters of small skylights are not appropriate.

Skylights in highly visible roofs or on main (front) elevations are not appropriate.

Skylights are not appropriate in slate roofs.



Many existing garages and outbuildings are significant structures and should be given the same care and attention as the main structure of the property. An 1899 Sanborn map of the area shows many wood frame 'stables' located at the rear of Italian Village properties. Today many of the remaining significant outbuildings and garages are wood frame and early concrete block structures from the first half of the 1900's. Rehabilitation of these architecturally significant structures should follow the same guidelines as in previous chapters for the particular materials and elements.

It is important, when planning a new garage or outbuilding (the most common example of an outbuilding is a gardening shed) that it is designed to be compatible with significant structures in the surrounding area. New garages and outbuildings should be located at the rear of the property, where they will not be visually part of the primary street elevation.

#### APPROPRIATE:

Existing original garages and outbuildings should be maintained and repaired whenever possible.

New structures should be located at the rear of the property.

New structures should be simple and modest in design and scale.

New two-car garages should use two single car garage doors, to help maintain a smaller scale.

Wooden siding is the most appropriate siding for new outbuildings and garages.

New masonry garages and outbuildings must be of brick or split-faced concrete block with wood gable ends (where gable ends occur).

Flat roofs are recommended for all two car garages. One-car garages may use any historic roof shape.

Outbuildings may use any historic roof shape.

Wooden garages and outbuildings must be painted.

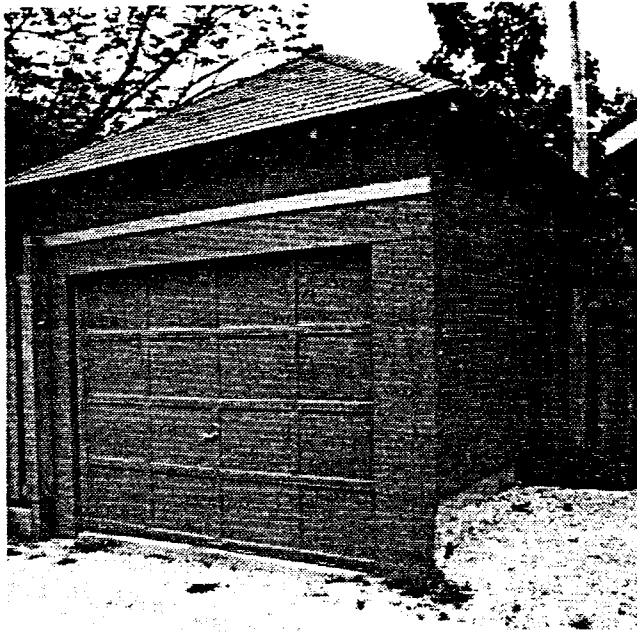
#### NOT APPROPRIATE:

The scale, proportions, and form of an existing garage or outbuilding should not be altered.

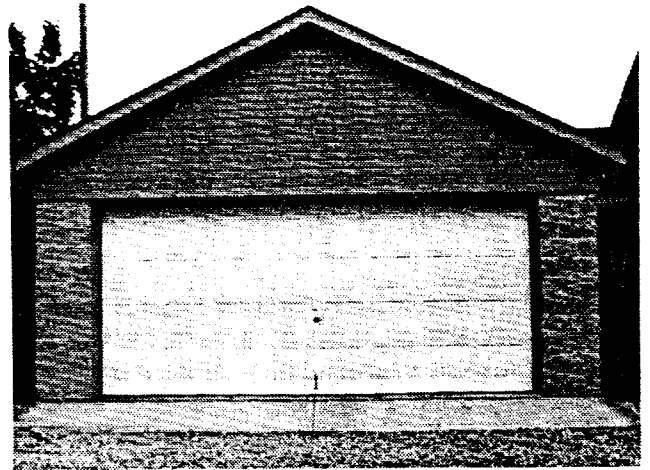
New garages and outbuildings should not be so large as to be out of scale with the primary structure or the surrounding area.

Pre-fabricated metal sheds or outbuildings are not appropriate.

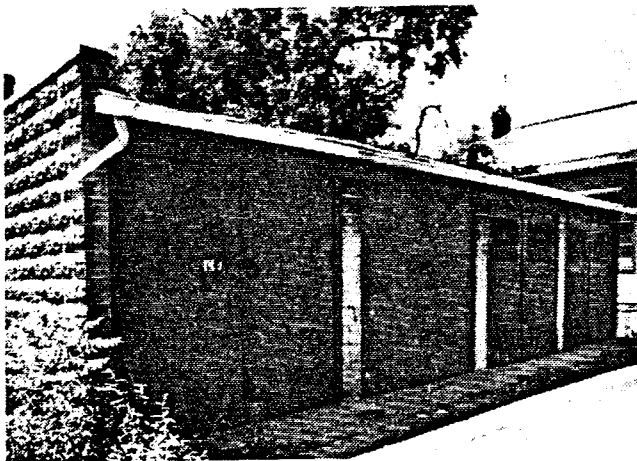
Stained or weathered wood is not an appropriate finish for garages and outbuildings.



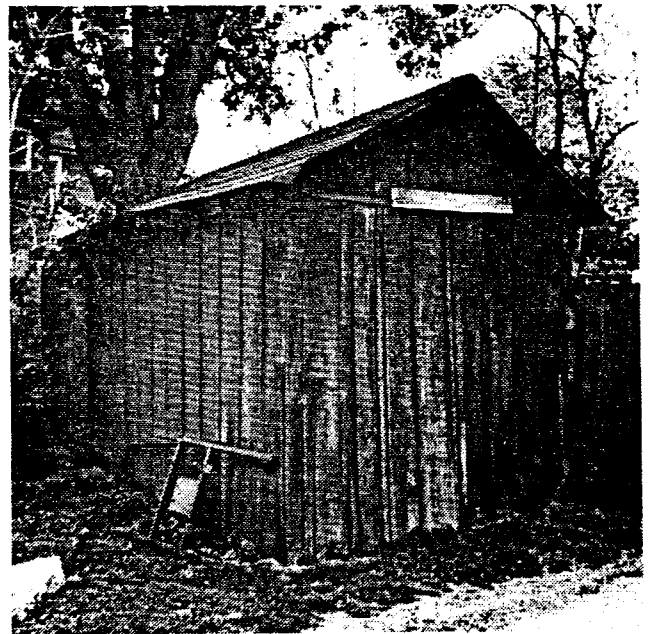
Rear of 93 E. Lincoln Street  
Restored original garage



Rear of 90-92 Brickle  
New Split-faced garage



Rear of 140 E. Lincoln Street  
Early 1900's garage



1069 Say Avenue  
Original frame outbuilding/carriage stable

Historically, exterior wood surfaces were painted. Tin roofs, wrought iron and cast iron decorations were also painted, to prevent rusting and deterioration. Paint was also applied, for decorative purposes, or as a protective coating, for porous brick and stone.

Although color is a matter of personal preference, owners of older buildings should realize that some colors and methods of application are more appropriate and more sympathetic than others for the age and style of older buildings. Fortunately, there are a wide range of colors that are historically appropriate and allow individuals to express their individual taste while still being fair to the age and style of the building.

There are three basic approaches to selecting a color scheme for historic and older structures: Scientific, Historic and Boutique.

### SCIENTIFIC

The Scientific method is a standard followed by museums and preservationists for restoring a building to a specific time in the past. It requires that the finish be examined in a laboratory using a variety of microscopic and chemical techniques. While it is difficult without the help of a trained specialist to obtain a color match that will meet scientific standards of authenticity, you can conduct an investigation that will help approximate the original colors and finishes used in the past.

### HISTORIC

Of the three levels of authenticity, the Historic one will most likely appeal to private homeowners, who are not planning to live in a museum. To achieve a historical paint scheme two principals of historic-level authenticity must be observed.

1. The colors applied to any building should be selected from those that were available and considered appropriate for the date, type and style of the building, at the time it was constructed.
2. Those colors, whatever they may be should be applied to the structure to enhance the design.

### BOUTIQUE

The Boutique style is often referred to as Painted Lady. The Boutique approach differs from Historic practice in both color and placement. The colors are more brilliant and are lavishly applied. A well thought out Boutique paint scheme can turn an ordinary building into a delightful work of art. However, Boutique color schemes do not age well. Different colors and values tend to fade at different rates. The Boutique color scheme usually requires annual painting maintenance.

In general, good quality latex and oil-based paints are about equal in durability. But for older houses it is safer to use oil-based paints because most older structures already have many coats of oil-based paint on them. Oil-based paints age differently from latex. The following is a brief description of the four basic paint types.

- Latex - A suspension of synthetic resin (e.g. polyvinyl acetate, styrene-butadiene, or acrylics) in water to form a basis for a water thinned paint
- Alkyd - A synthetic resin modified with oil that gives good adhesion, gloss and color retention. Most oil-based paints today are based on alkyd resin rather than the traditional linseed oil. Alkyd paints are also called 'oil-alkyd' paint.
- Enamel - Basically a varnish to which pigment has been added. Makes a tough, durable, easy to clean paint. Enamel (gloss or semi-gloss) is often used on trim.
- Oil Paint- The traditional formulation consists of pigment suspended in linseed oil, a drier, and mineral spirits or other type of thinner.

**APPROPRIATE:**

Research into, and the use of the original color scheme used on the building is encouraged.

The retention of the sequence of historic paint layers is encouraged.

Investigate the source of paint failure prior to repainting.

The continued protection and preservation of historic exterior woodwork through regular paint maintenance is required.

**NOT APPROPRIATE:**

Surfaces that have never been painted, such as lintels, sills, foundation materials, and brick surfaces, should not be painted.

The use of stucco, textured paints or self-cleaning paints are not appropriate.

Using blow torches, sandblasting, water cleaning with over 300 pounds per square inch of pressure, rotary sanders, or wire strippers to remove paint is not appropriate.

**REFERENCES & RESOURCES**

*Preservation Brief 10 - Exterior Paint Problems on Historic Woodwork* - Kay D. Weeks and David W. Look, AIA - Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, DC 20402

*Old House Journal, April 1981* - Special issue on exterior paints. (Out of Print) Copies of back issues of Old House Journal are available at the Northside Branch of the Columbus Public Library.

*Victorian Exterior Decoration, How To Paint Your Nineteenth Century American House Historically* Roger W. Moss and Gail Caskey Winkler, Henry Holt and Company, Inc., 521 Fifth Ave., New York, NY 10175

*Century of Color, Exterior Decoration for American Buildings 1820 - 1920* Roger Moss, The American Life Foundation, Box 349, Watkins Glen, NY 14891

*Paint Color Research and Restoration - Technical Leaflet No. 15* - Nashville AASLH, 1400 8th Ave., S., Nashville, TN 37203



**CARPENTER GOTHIC 1840 - 1860**

Most often painted in light browns and pinks. Trim was done in the same or similar colors, or painted dark.



**STICK STYLE 1860 - 1865**

Body and trim painted contrasting dark colors, such as red, gray and brown, to heighten the decorative trim. Doors were often oak or other unpainted hardwood.



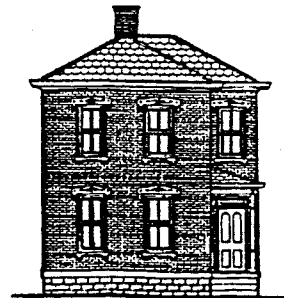
**SECOND EMPIRE 1860 - 1880**

Details were picked out in dark greens, reds and browns. Earlier houses continued to be painted in Italianate colors that resembled stone. Trim was generally lighter, with doors in subtle contrast to the trim.



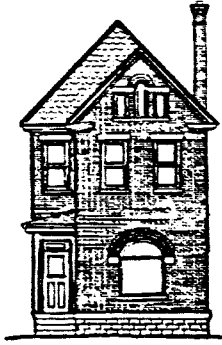
**STICK-EASTLAKE 1870 - 1900**

Bold, colorful contrasting color schemes of red, green, and yellow with maroons and blues.



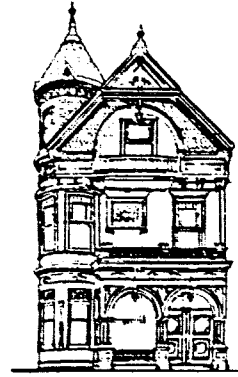
**ITALIANATE VERNACULAR 1860 - 1890**

Frame houses were painted yellows, grayish greens, terra-cotta reds or dark browns. Trim on frame houses was painted creamy off-white, beiges, or a lighter or darker shade of the body of the house. Trim on brick houses was painted in deep greens, redish browns, beiges or creamy off-whites.



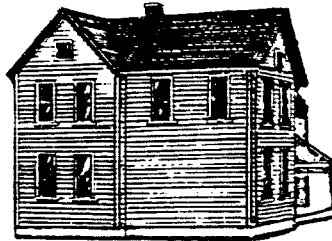
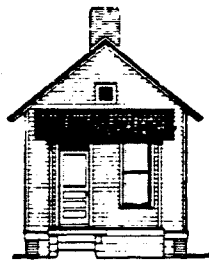
**VERNACULAR QUEEN ANNE 1880 - 1900**

Painted in warm, light colors with contrasting trim, and dark doors. Trim was often the same color, but in a different shade, either darker or lighter. Colors range from cream to brown, and gray to green.



**QUEEN ANNE 1889 - 1900**

Painted with several dark vivid colors to highlight all of the details. Clapboards were painted buff, olive, dark brown or gray. Shingles were painted dark red, browns or green. Trim was painted maroon, reds, yellows or greens. Blinds were green, tan, or dark red.



**VICTORIAN VERNACULAR 1890 - 1930**

Were painted whatever colors were popular at the time of construction. Often painted plainly all in one color with only the doors accented.



**AMERICAN FOUR-SQUARE Early 1900's**

Often painted in maroons, browns, grays, brick reds, yellow ochres, olive greens, or gray greens.



**ROWHOUSE Early 1900's**

Often painted in light cream colors or in dark shades of green, red or brown.

Traditionally, awnings were not used on residential structures. They were, however, used on retail and commercial structures in the early 1900's. The Commission discourages the use of awnings on residential properties. When based on historic precedent, awnings are appropriate on historic storefronts.

On a commercial structure, awnings can help shelter passersby, reduce glare, and conserve energy by controlling the amount of sunlight hitting the storefront windows. Canvas awnings have a life expectancy of between 4 and 7 years. In many cases awnings can disguise, in an inexpensive manner, later inappropriate alterations and provide both additional color and a strong store identification.

**APPROPRIATE:**

When awnings are used, they should be of a soft canvas or vinyl material.

Awnings should be installed without damaging or visually impairing distinctive architectural features.

Supporting structures should be an integral part of the design.

Colors should be in keeping with the overall color scheme of the building.

**NOT APPROPRIATE-**

Awnings on residential structures are discouraged, as they are not in keeping with the architectural character of Italian Village.

Fixed aluminum or wood awnings are not appropriate awning materials for structures in Italian Village.

Awnings simulating mansard roofs or umbrellas are not appropriate styles for structures in Italian Village.

**SIGNAGE AND GRAPHICS:**

All proposed graphics in Italian Village must be reviewed by the Commission. A Certificate of Appropriateness will be issued after the graphics meet the following design criteria:

**GENERAL SIGNAGE/GRAPHICS GUIDELINES:**

1. Review includes size, location, materials, texture, color(s), type size and type style.
2. Signage should be a logical component of the overall design of the building.
3. Only one exterior sign (wall sign, projecting sign, ground sign, pole sign, or awning sign) and one interior sign (window sign) is permitted per business, per street frontage.
4. Signage is restricted to the following components:
  - a. Name of the business
  - b. Logo of the business
  - c. Function of the business
  - d. Phone number of the business
  - e. Street number or address of the business
5. Signage should not obscure any architectural details.
6. The installation of a sign must be reversible and can not permanently alter or damage historic building materials.
7. Lighting (if used) must be an integral part of the signage design.
8. Interior illumination of signage is prohibited.

**APPROPRIATE SIGNAGE/GRAPHICS - WALL SIGNS**

Wall signs are the preferred signage style in Italian Village. They should be located within the signage band between the first and second floor windows. Where windows do not exist, the nearest building or buildings on the same block may be used for determining window heights. Wall sign height can not exceed 60% of the total signage band area. Wall signs can not exceed 50% of the width of the structure. When several businesses occupy a building, individual signs can not exceed 50% of the storefront of the individual business. The maximum allowable area for a wall sign is 25 square feet.

**APPROPRIATE SIGNAGE/ GRAPHICS - PROJECTING SIGNS**

The maximum horizontal projection from the building must not exceed 4 feet or 2/3 the sidewalk width, whichever is less. A minimum of 10 feet of clearance must be maintained. Signage can not be hung so as to extend above the bottom of the second floor windows. Where windows do not exist, the nearest building or buildings on the same block should be used for determining window height. The maximum allowable area for a projecting sign is 12 square feet.

**APPROPRIATE SIGNAGE/GRAPHICS - GROUND SIGNS**

Ground signs are acceptable only if no other solution is feasible. The height shall not exceed 5 feet above the ground, including any mounting platform or sign base. The maximum allowable area for a ground sign is 10 square feet, including any mounting platform or sign base.

**APPROPRIATE SIGNAGE/GRAPHICS - POLE SIGN**

Pole signs are acceptable only if no other solution is feasible. Pole signs can not be used for structures that have a setback of less than 20 feet. Pole signs should be mounted 10 feet above the ground, including pole, sign base and mounting platform. The maximum allowable area for a pole sign is 20 square feet (excluding pole area).

**APPROPRIATE SIGNAGE/GRAPHICS - AWNING SIGNS**

Awning signage is permitted. However, it is restricted to the name, logo and address of the business.

**APPROPRIATE SIGNAGE/GRAPHICS - WINDOW SIGNS**

A window sign is any sign or graphic that is attached to the window or door glass, or hung inside (behind) the glass, and is readable from the street or sidewalk. Window signs should be transparent in overall design. Window signs can not exceed 1/4 the total glass area of the storefront. The maximum allowable area for a window sign is 6 square feet.

**NOT APPROPRIATE SIGNAGE/GRAPHICS**

The following signage/graphics are not in keeping with the architectural character of Italian Village. These signage/graphics types will not be approved by the Commission under any circumstances.

Internally illuminated signage

Co-op or tenant panel signage

Rooftop signage

Off premises graphics

Billboards

**BANNERS & FLAGS**

Permanent banners are prohibited in Italian Village and under the Columbus Graphics Code. A temporary banner, such as 'Grand Opening' is permitted without review, if displayed for less than thirty days.

Custom designed flags are subject to review and approval by the Commission. Review includes size, location, materials, colors, mounting materials and hours of display. (Note: A flag which contains the name, logo, function, or address of the business is in fact a sign, and is subject to signage review).

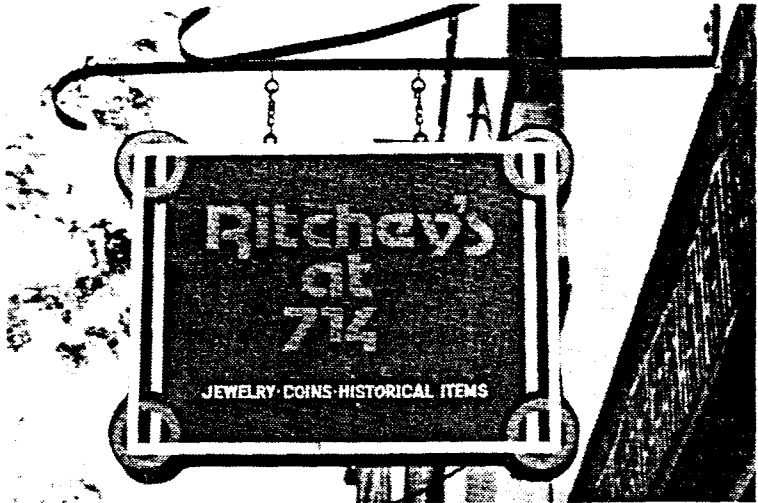
**MURALS**

Murals are reviewed on an individual basis, based on size, location, content, and appropriateness for the area in which they are located.





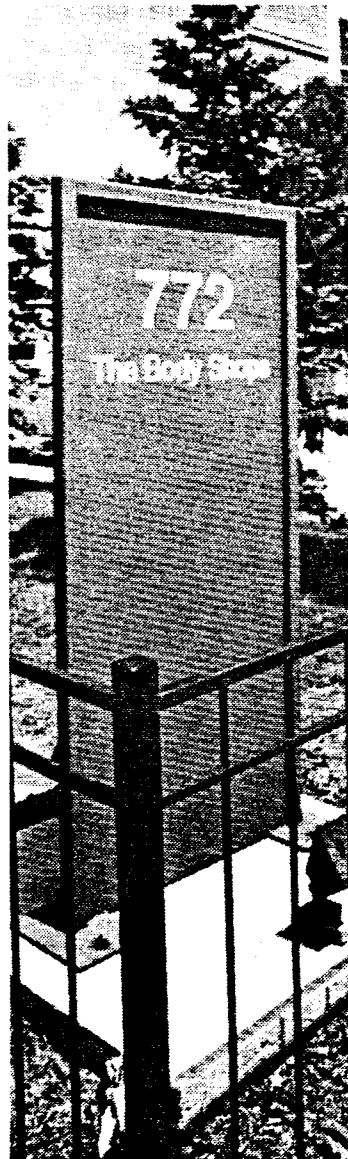
772 N. High Street  
Double projecting sign



714 N. High Street  
Projecting sign



Rear of 680-698 N. High Street  
Brick & split-faced block ground sign



772 N. High Street  
Metal ground sign



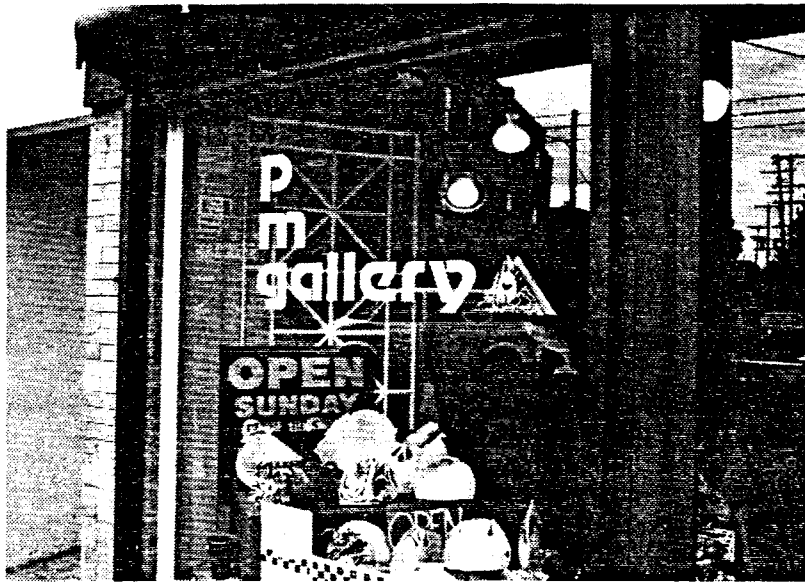
50 E. Lincoln Street  
Residential scale pole sign



612 N. High Street  
Awning Sign



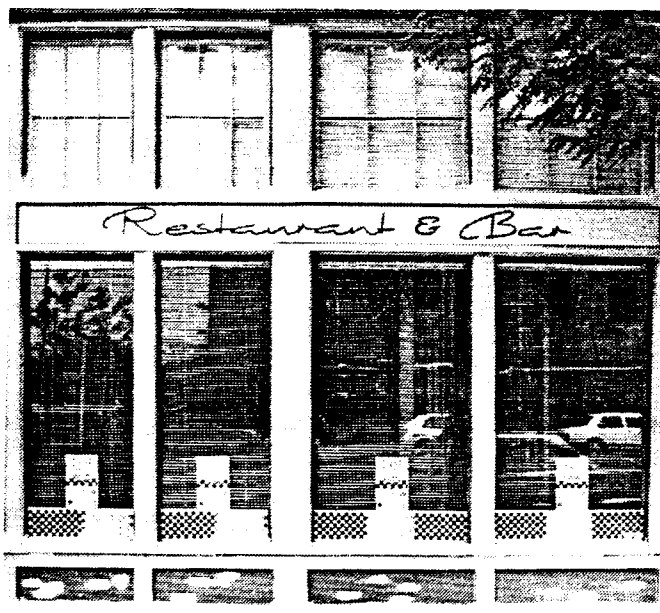
630-634 N. High Street  
Awning Sign



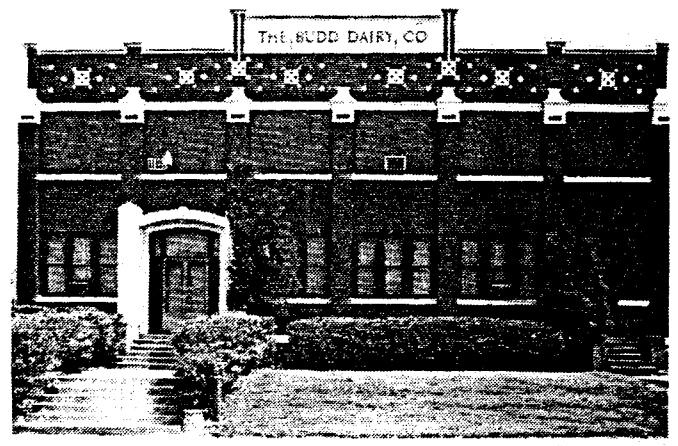
626 N. High Street  
Window Sign (Vinyl type)



772 N. High Street  
Window Sign (Neon)



698 N. High Street  
Wall Sign (Sign area incorporated into design of storefronts)



1086 N. Fourth Street  
Wall Sign (Sign area incorporated into cornice of structure)

Retail and commercial establishments of the 18th and early 19th century, in Italian Village, were frequently located on the ground floor of buildings. The ground floors of large commercial establishments, especially in the first decades of the 19th century, were distinguished by regularly spaced, heavy piers of stone or brick, infilled with paneled doors or small paned window sash. Entrances were an integral component of the facade, typically not given any particular prominence although sometimes wider than other openings. The ready availability of architectural cast iron after the 1840's helped transform storefront design. Simultaneous advances in the glass industry permitted manufacturing of large panes of glass. The combination of these two technical achievements led to the storefront as we know it today.

Between 1915 and 1922, North High Street was widened. Many commercial storefronts were altered, due to this widening of the street. These alterations resulted in common facade treatments, in some cases, extending for half a block or more. What often appears to be one large building is in fact several smaller buildings sharing a common facade.

The typical Italian Village storefront consists of a single door flanked by display windows. The entrance door is usually recessed, which not only protects customers from inclement weather, but also increases the amount of merchandise display space. In some cases, an additional side door provides access to the upper floors. Thin structural members of cast iron, wood, or masonry usually frame the storefront. The windows are usually raised off the ground by wood, cast iron or pressed metal panels or bulkheads. Frequently, a transom or series of transoms are located above each window and door.

#### APPROPRIATE

Retain and repair original storefront materials.

Respect the scale and proportions of the building in relationship to the storefront.

Respect the horizontal separation between the storefront and the upper floors.

Maintain the historic planar relationship of the storefront to the facade of the building and the streetscape. Most storefront frames are generally composed of horizontal and vertical elements.

Differentiate the primary retail entrance from the secondary access to upper floors. Entrances should be placed where there were entrances historically, especially when echoed by architectural detailing on the upper floors.

Select construction materials that are appropriate to the storefront. Wood, cast iron and glass are preferred.

Storefronts should generally be as transparent as possible.

#### NOT APPROPRIATE

Altering the original scale and size of the storefront in relationship to the scale and size of the building.

The use of materials that were not available when the building was constructed; such as vinyl, aluminum siding, anodized aluminum, mirrored or tinted glass, artificial stone, and brick veneer.

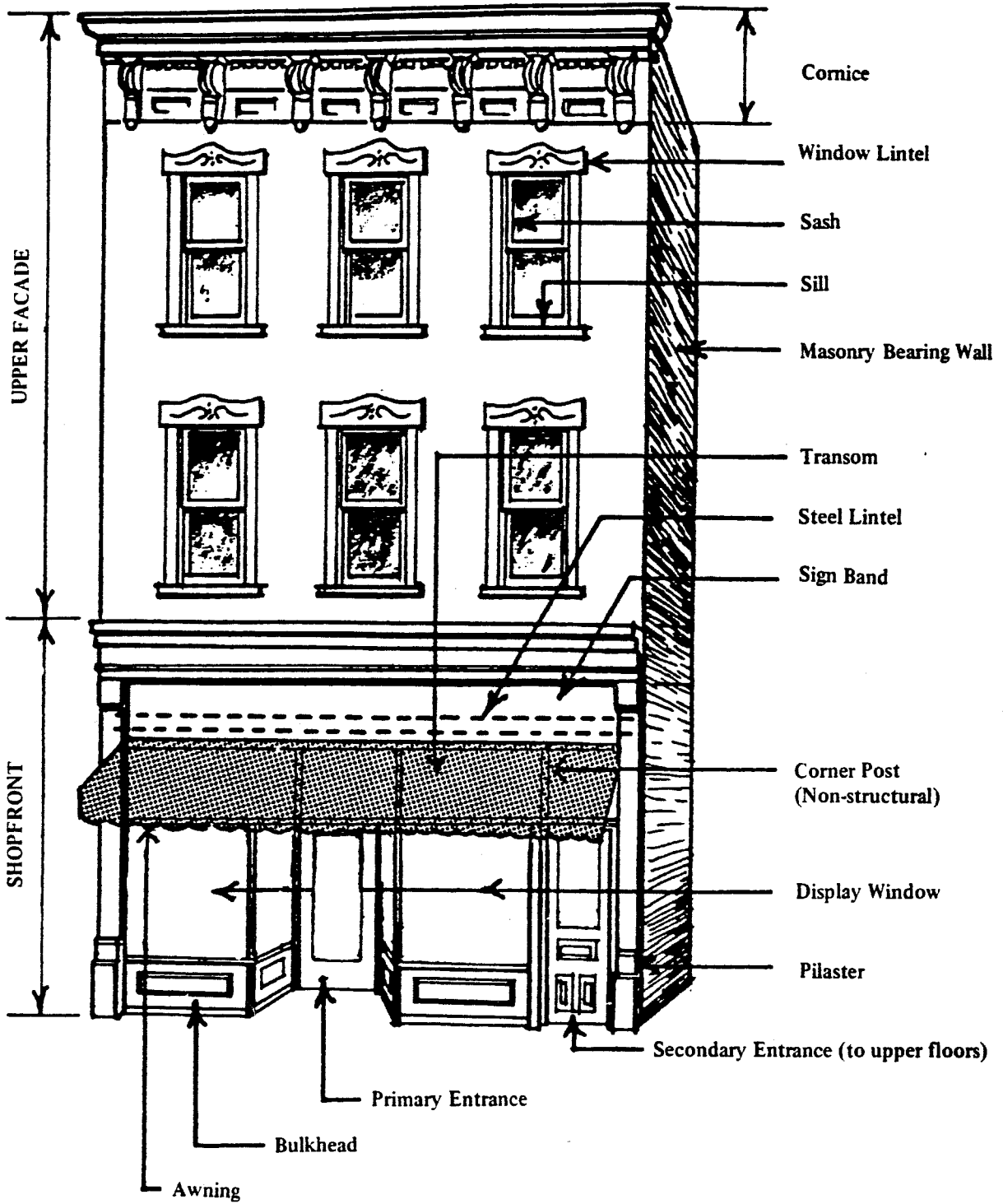
A new interior use is not justification for altering the character of a storefront.

#### REFERENCES & RESOURCES

*Preservation Brief II - Rehabilitation Historic Storefronts* - H. Ward Jandl, Copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington DC 20402

*The Buildings of Main Street - A Guide to American Commercial Architecture* - Richard Longstreth, The Preservation Press, National Trust for Historic Preservation, 1785 Massachusetts Ave., N.W., Washington, DC 20036

*Old House Journal, July/August 1988* - Special issue on Commercial Rehabilitation. Copies of Old House Journal are available at the Northside Branch of the Columbus Public Library.



Italian Village originally developed as a neighborhood supporting area industries. As a result, the area contains many examples of late 19th century industrial buildings. The most significant development occurred on the eastern edge of the area adjacent to the railroad right-of-way. These buildings are an integral part of the area's history and contribute to the urban fabric. Restoration of and/or additions to these structures should be sensitive to their architecture. Late 19th century industrial buildings were constructed to maximize light and air circulation. These qualities are still appropriate today.

Development in Italian Village will include rehabilitation of existing industrial structures as well as additions and new construction. It is important that new construction be designed to be visually compatible with the area's existing buildings. To accomplish this, these new structures should be based on historic architectural design concepts.

Applicants planning to add an addition to, or construct a new industrial structure, should consult the 'New Construction' section of these guidelines. The new construction guidelines are applicable to both residential and non-residential buildings.

## NEW CONSTRUCTION AND BUILDING ADDITION: \_\_\_\_\_

Changes are inevitable in Italian Village, many of which will result in changes to the architecture of the neighborhood in the way of new construction. New additions to buildings are occurring more frequently. Vacant lots, which once held structures that were an integral part of the early neighborhood, offer many opportunities for new residential, commercial, and industrial construction.

Building additions are appropriate when they do not damage, obscure, or cause the loss of existing significant historic materials and features. Additions should be located on secondary, not primary elevations. New additions must be distinguishable from the existing building so as to not confuse what is old with what is new. The new addition should be contemporary in spirit, but still maintain a visual relationship to the existing architectural character of the original structure.

It is important that new construction be designed to be visually compatible with the area's existing structures. To accomplish this, these new structures should be based on historic architectural design concepts. New construction should not duplicate historic architecture. New structures should look new, reflecting contemporary design standards while using contemporary design elements that relate to existing contributing properties surrounding the new structure.

The following standards shall apply to the evaluation of the appropriateness of proposed building additions and new construction.

### 1. CONTEXT

The mixture of building types in Italian Village is rather limited. New construction in an area where there is a mixture of building types should follow the already existing pattern. New buildings shall be compatible with the significant buildings within the immediate area. If all of the structures in the area of a site are two story residential structures, it would not be appropriate to propose a four story commercial structure.

### 2. STREET ALIGNMENT

Historically throughout the Italian Village area, buildings of all types - commercial, residential and industrial - were aligned along the street. This created a visual wall along the street, thereby defining the street zone. New buildings should not be in front of, or behind this line, as it would visually disturb and break the street wall. The building setback, or distance the building is from the street, should be the same as adjacent buildings. In addition, and especially in commercial structures, the major components of the primary facades, (cornices, windows, storefronts, definition of floor levels) are horizontally aligned with, or have some relationship to adjacent buildings. This aspect of alignment gives a sense of unity to the buildings and strengthens the definition of the street zone. A structure which has frontage on more than one street or alley resulting in multiple facades shall be compatible with the street zone on each facade.

### 3. HEIGHT

New construction must be similar in height to surrounding structures, so as to blend in with the surrounding structures. New construction should be near the average height of neighboring buildings,

not exceeding the tallest, or be smaller than the shortest. Major elements such as porches, should also be of similar height with adjacent appropriate porches. Setbacks may be used at upper levels for some new structures.

#### 4. SCALE

Physical size and shape shall be compatible with existing contributing properties without overwhelming them. If the size of a proposed building is not compatible with surrounding buildings it will be out of scale and become a visual intrusion to the neighborhood. Most of the earlier structures in Italian Village have a vertical emphasis to their primary facades, where the height is about twice the width. Understanding the size and shape of neighboring buildings will contribute to the generation of a successful compatible structure.

#### 5. RHYTHM

The rhythm of an area is established by the spacing of the buildings relative to each other, and the spacing of openings and design elements within them. The relationship of solid spaces to voids (i.e. walls to windows and doors), in the facade of a structure shall be visually compatible with adjacent contributing properties. The relationship of a structure to the open space between it and adjoining structures, shall respect the surrounding environment. The relationship of entrances, porches, and other projections to sidewalks or streets, shall be guided by the streetscape provided by adjacent and visually related structures and open spaces. The building mass of a large development can be varied in form by using setbacks for open space and landscaping, when appropriate, to provide necessary visual transition between the large development and adjacent properties.

Current zoning laws may restrict a new design from matching the existing building spacing. If this is the case, every attempt should be made to match the spacing as closely as possible, including the pursuit of a variance.

#### 6. OPENINGS

The proportion of openings (width and height of windows, doors and entries) shall be visually compatible with adjacent contributing properties. A long facade shall be divided by openings, setbacks or decorative details into smaller bays thereby complementing the streetscape.

#### 7. MATERIALS

The choice of material, texture and color of a new structure must relate to and be tempered by the predominant material, texture and color of adjacent and visually related structures. Simplicity is preferred. Continuity of material will add to the unity and harmonious character of the neighborhood. Where brick predominates in nearby structures new construction should be of brick. If frame predominates in nearby structures, the new construction should be of frame. Where vacant land predominates, brick is preferred. Additions to existing residential structures may be either brick or frame, however, frame is preferred.

#### 8. APPURTENANCES

Appurtenances of a structure such as walls and fences shall be visually compatible with the adjacent, visually related structures, appurtenances and open spaces. Landscaping including grass, trees, shrubbery and flowers shall be included, especially in parking and sidewalk areas.

The Commission encourages applicants to schedule a 'Conceptual Review' meeting to review proposed new construction and building additions, before the applicant has completed working and/or construction plans.

### REFERENCES AND RESOURCES

*Preservation Brief 14 - New Exterior Additions to Historic Buildings: Preservation Concerns* - Kay D. Weeks, copies are available from Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.

*Preservation Brief 17 - Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character* - Lee H. Nelson, FAIA, copies are available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.

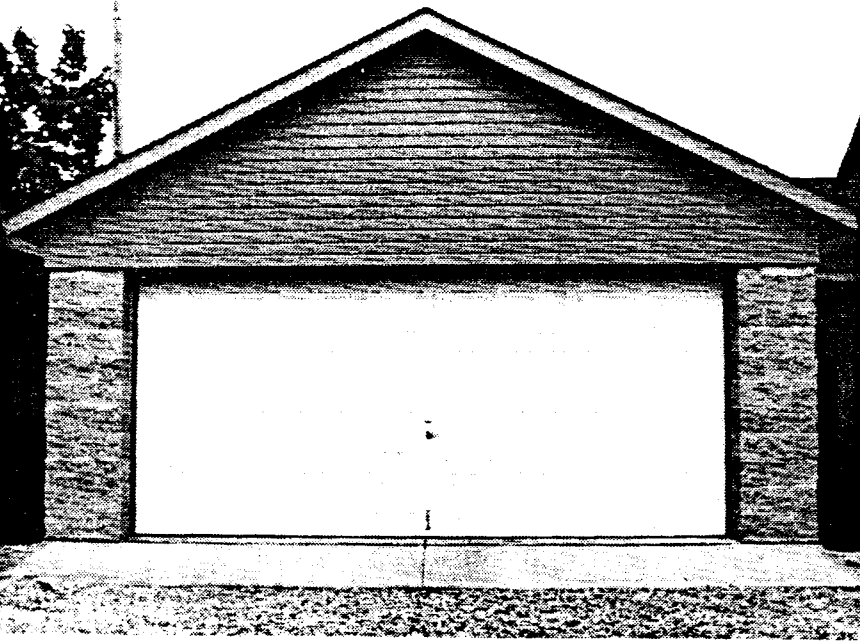
*Old & New Architecture - Design Relationships* - From a conference sponsored by National Trust for Historic Preservation, Latrobe Chapter of Society of Architectural Historians, Washington Metropolitan Chapter of American Institute of Architects. Copies are available from The Preservation Press, National Trust for Historic Preservation, 1785 Massachusetts Ave., N.W., Washington D.C. 20036.



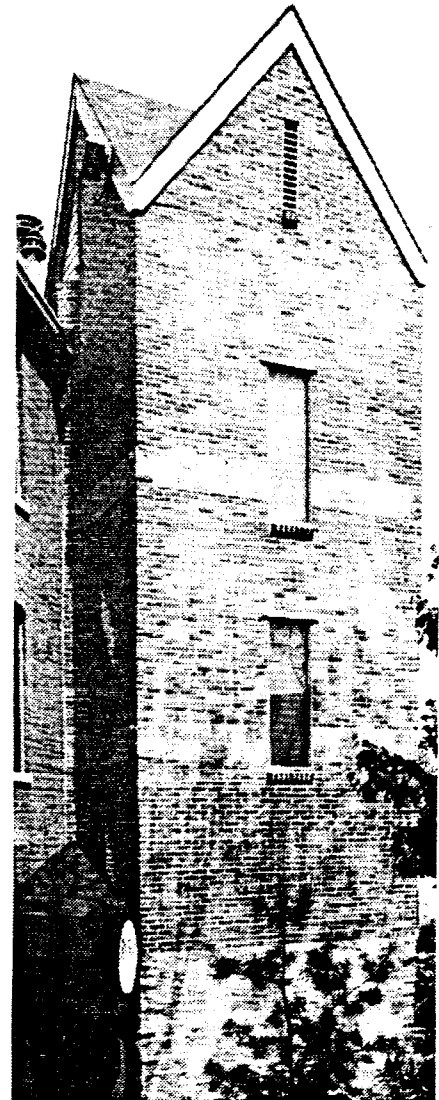
68 E. Lincoln Street  
Frame Addition



84 E. Lincoln Street  
Frame Addition



Rear of 90-92 Brickle  
New split-faced block garage



Rear of 680-698 N. High Street  
Brick & split-faced block addition  
for Elevator

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



**ORD. No. 1519-89**—To supplement the Columbus City Codes, 1959, by the enactment of new Sections 3327.005, 3327.055, 3327.08 and 3327.09; by the amendment of Sections 3327.01, 3327.02, 3327.03, 3327.04, 3327.05, 3327.06 and 3327.07; and by the repeal of existing Sections 3327.08, 3327.09, 3327.10, 3327.11, 3327.12 and 3327.13 and sections being amended hereby, all to update the Italian Village Commission Chapter.

WHEREAS, the Commission Appeals Task Force formed to consider changes in historic preservation and architectural review procedures has approved the following legislation; and

WHEREAS, uniformity in basic standards and procedures for historic preservation and architectural review commissions and districts and a statement of purpose is desirable; and

WHEREAS, stated duties of the commission should include consideration of applications, issuance of certificates of appropriateness, area preservation and preparation of guidelines; and

WHEREAS, sections which were replicated in several chapters have been consolidated in Chapter 3116 applicable to all commissions and districts involved in historic preservation and architectural review; and

WHEREAS, definitions rather than being repeated in five different chapters have been unified and placed in alphabetical order for easier access in that same chapter; and

WHEREAS, an appeal procedure has been enacted in Chapters 3116 and 3118; and

WHEREAS, "exterior architectural characteristics in typical Italian Village houses" is not actually a term to be defined, but is rather a statement of standards to guide the Commission in issuing certificates; and

WHEREAS, this commission does receive for review, comment and recommendation applications for rezonings, special permits, variances, demolitions and zoning appeals but such has not been previously stated in its duties; and

WHEREAS, generally the active voice is preferred over the passive; the singular noun, over the plural in drafting; and

WHEREAS, it is reasonable and efficient to make these amendments concurrently with the enactment of new Chapters 3116 and 3118; and

WHEREAS, the Development Commission, after notice and public hearing, recommended the following ordinance to Council for passage conditioned upon the concurrent passage of legislation creating the position of Preservation Architect in the Development Department and the funding for such additional staff; now, therefore,

**BE IT ORDAINED BY THE COUNCIL OF THE CITY OF COLUMBUS:**

**Section 1.** That the Columbus City Codes, 1959, are hereby supplemented by the enactment of new Section 3327.005 reading as follows:

**3327.005 Purpose.**

The purpose of this chapter and the commission

established herein is to create a design review process to:

**A. Preserve, stabilize and improve the compact and homogeneous district of the City known as Italian Village;**

**B. Promote the importance of historic preservation in the Italian Village District;**

**C. Strengthen the economy of the City through the creation of new jobs;**

**D. Increase the City's tax base by encouraging reinvestment in historic buildings;**

**E. Protect the unique historic and architectural character of the Italian Village District; and**

**F. Study the problems and determine the needs of furthering preservation in Italian Village.**

Preservation and redevelopment have created and will continue to create an exciting residential, office, retail and tourist district in the heart of the City benefiting property owners, residents and visitors in particular, and all citizens in general economically and aesthetically. The district's regulation is critical to the preservation and redevelopment process and the protection of the beauty and identity of Italian Village.

This chapter shall conform to and apply provisions of Chapters 3316 and 3118, C.C.

**Section 2.** That Sections 3327.01, 3327.02, 3327.03, 3327.04, and 3327.05 of the Columbus City Codes, 1959, are hereby amended to read as follows:

**3327.01 Creation, members and term.**

The Italian Village Commission is hereby established, consisting of nine (9) members. All members shall be appointed by the Mayor and shall serve without compensation. Council recommends that appointments to the Italian Village Commission be made from professions and individuals, such as, but not limited to, one (1) member recommended by Council; one (1) \*(1)\* designee of Council; two (2) members recommended by the Mayor; five (5) members recommended by the Italian Village Society, three (3) of whom reside in, own a business with a building in, or own property in the Italian Village. Three (3) members shall be appointed for an initial term of one (1) year; three (3) members shall be appointed for an initial term of two (2) years; and three (3) members shall be appointed for an initial term of three (3) years. All subsequent terms shall be for a period of three (3) years. Vacancies caused by death, resignation or otherwise, shall be filled for the unexpired term in the same manner as original appointments.

**3327.02 Organization.**

As soon as convenient, after the members are appointed by the Mayor, the Commission shall meet and organize by the election of a chairman and secretary. \*(2)\* The Commission shall adopt rules of procedure and provide for regular and special meetings. A majority of the members appointed to and serving on the Commission shall be required for official action and constitute a quorum. All Commission meetings shall be open to the public. A record of proceedings shall be maintained and available for inspection. Notices of all

Commission meetings shall be published in the City Bulletin.

#### 3327.03 Duties.

The duties of the Italian Village Commission shall be as follows: \*(3)\*

A. To preserve, protect and enhance the unique architectural and historical district of the city known as Italian Village.

B. To consider applications pursuant to regulations and standards of Chapters 3116 and 3327, C.C., and the Commission's guidelines and issue certificates therefor if appropriate.

C. To study the problems and determine the needs of the City in furthering the purpose of rehabilitating, preserving and redeveloping the area of the City known as the Italian Village. \*(4)\*

D. To determine what legislation or policy, if any, is necessary to preserve, restore and develop the Italian Village area and to recommend \*(5)\* the same to the Mayor or Council, whichever is appropriate.

E. To prepare, adopt and publish guidelines consistent with the standards for the district pursuant to Chapter 3116, C.C.

F. To work with other preservation and architectural review commissions, the Italian Village Society, the Columbus Landmarks Foundation, the Ohio Historic Preservation Office, city departments, business organizations, neighborhood groups and other interested organizations to advance the preservation and redevelopment of the Italian Village and other historic resources in the City.

G. To advise the Mayor and make recommendations on the conservation of city-owned structures and sites in Italian Village and on any alteration or demolition of a city-owned property, right-of-way or park in German Village.

H. To assist the City in compliance with federal preservation regulations. \*(6)\*

I. To receive for review, comment and recommendation from the Development Regulation Division copies of applications and notices of all public hearings related to rezonings, special permits, variances, demolitions and zoning appeals regarding property located wholly or partially within Italian Village.

J. To provide for regular and special meetings to accomplish the purposes of paragraphs \*(7)\* (A) through (I) herein.

#### 3327.04 Italian Village District created.

There is hereby created in the City of Columbus a historical district subject to architectural review to be known as the Italian Village District (commonly referred to as "Italian Village") generally bounded and described as follows:

On the north by Fifth Avenue, on the east by Penn Central Railroad, on the south by the Innerbelt and on the west by North High Street.

#### 3327.05 Definitions.

For the purposes of this chapter the \*(8)\* terms, phrases and words defined in C.C. 3116.011 to 3116.019, inclusive, and their derivations shall have the meaning given therein.

When not inconsistent with the context, words used in the present tense include the future, words in the plural number include the singular number, words in the singular number include the plural number, and words in the masculine gender in-

clude the feminine and neuter. Definitions contained in Chapter 3303, C.C., and not in conflict with Chapter 3116, C.C., shall apply.

"Commission" means the Italian Village Commission.

Section 3. That the Columbus City Codes, 1959, are hereby supplemented by the enactment of new Section 3327.055 consisting primarily of material formerly contained in the definition section and reading as follows:

#### 3327.055 Typical architectural characteristics.

The standard for typical Italian Village architecture is characterized by two-story brick \*(9)\* houses with grey slate, hipped roofs \*(10)\* or flat roofs. Chimneys extending from the ridge line of \*(11)\* a roof predominate. Most roofs have moderate overhangs with hanging or box gutters.

All facades of the brick houses are simple in composition, composed of areas of soft-burned red brick laid up in common header bond with brick areas exceeding the combined door and window areas. Doors and windows are located from the corner of a structure a distance as great as or greater than their width. Typical windows are double-hung with a height to width ratio of approximately \*(12)\* two to one and a single vertical muntin in the center of each sash. Most windows and doors have cut stone lintels and sills with \*(13)\* Roman-arch brick heads being employed above some. Many of the stone lintels contain incised relief of various designs on their faces. Doors are usually of four-panel design with an occasional use of glass. Foundations are constructed of large cut stones \*(14)\* laid in mortar.

Wrought iron and stone fences, simple in character, bordering on the brick walks, which in most cases \*(15)\* extend to the cut stone curbing of the street, are erected at the front of most of the properties. In some cases, the \*(16)\* fence completely surrounds the property. Cut stone steps with carved stone buttresses are found at the front \*(17)\* entrance of some of the larger houses.

The general scale of the structures within the Italian Village and their relationship, one to another, is intimate. \*(18)\* The typical house is approximately twenty-five (25) feet by forty (40) feet. Many houses are located at the front of a \*(19)\* thirty-foot by eighty foot (30 x 80) lot.

All construction, reconstruction, alteration or demolition shall be in conformance to and compatible with the above characteristics; the Guidelines for Italian Village adopted by the Commission, approved by Council and published; such other standards as may be adopted by the Commission from time to time in conformity with C.C. 121.05; the Secretary of Interior's Standards for Rehabilitation and Preservation Projects; and the standards contained in Chapter 3116, C.C. \*(20)\*

Section 4. That Sections 3327.06 and 3327.07 of the Columbus City Codes, 1959, are hereby amended to read as follows:

#### 3327.06 Limitation on issuance of building permit.

Except in cases excluded by C.C. 3116.23, the Building Inspector shall issue no permit \*(21)\* for the construction, \*(22)\* reconstruction, altera-

tion or demolition of any structure or architectural feature now or hereafter in \*(23)\* Italian Village, \*(24)\* unless the application for such permit shall \*(25)\* first have been certified as appropriate under \*(26)\* C.C. 3116.05 or involving no architectural feature under C.C. 3316..09.

3327.07 Certificate \*(27)\* required.

Except in cases excluded by \*(28)\* C.C. 3316.23, no person shall construct, reconstruct, alter, change the exterior color of or demolish any structure or architectural feature now or hereafter in \*(29)\* Italian Village without first applying for a certificate of appropriateness therefor and obtaining either such certificate of appropriateness or a certificate that no architectural feature is involved.

The applicant shall deposit his permit application with the secretary of the \*(30)\* Commission in the manner and form provided by Chapter 3116. C.C.

Section 5. That Sections 3327.08, 3327.09, 3327.10, 3327.11, 3327.12 and 3327.13 of the Columbus City Codes, 1959, are hereby repealed.

Section 6. That the Columbus City Codes, 1959, are hereby supplemented by the enactment of new Sections 327.08 and 3327.09 to read as follows:

3327.08 Certificate that no architectural feature is involved.

If the Commission determines that no architectural feature is involved, it shall cause its secretary to endorse on the permit application or certificate, certificate of such determination and return the application, plans and specifications to the applicant.

3327.09 Severability.

The provisions of this chapter shall be deemed severable; and, if any such provision shall be held unconstitutional by a court of competent jurisdiction the decision of such court shall not impair any of the remaining provisions.

Section 7. That existing Sections 3327.01, 3327.02, 3327.03, 3327.04, 3327.05, 3327.06, and 3327.07 of the Columbus City Codes, 1959, being amended hereby, are repealed.

Section 8. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed November 20, 1989.

JERRY HAMMOND,

President of Council.

Approved November 21, 1989.

ALPHONSO MONTGOMERY, Acting Mayor.

Attest:

TIMOTHY McSWEENEY, City Clerk.

\*(1)\* member of Council; two (2) members appointed

\*(1)\* They may adopt rules of procedure of the Commission and may

\*(3)\* (a)

\*(4)\* (b)

\*(5)\* such legislation

\*(6)\* (c)

\*(7)\* (a) and (b) above

\*(8)\* following terms, phrases, words, and their derivations will have the meaning given herein.

(a) Commission — Italian Village Commission

as defined in Columbus City Codes, 1959, Section 3327.01.

(b) Structures — a combination of materials, to form a construction that is safe and stable; including among other things, stadia, gospel and circus tents, reviewing stands, platforms, stagings, observing towers, radio towers, billboards, sheds, coal bins, fences, and display signs. The term "structure" shall be construed as if followed by the words "or parts thereof." The distinction between "structure" and "building" should be noted. Structure is the broader term; building is a restricted form of structure. For the purpose of abatement of nuisance, a structure, in addition to the above, is defined to include: buildings, outhouses, barns, scaffolds, ash pits, wagons, auto trailers, junk, rubbish, excavations, walls or any object or thing used or maintained above or below the ground, or any part of such structure.

(c) Exterior Architectural Feature — The architectural treatment and general arrangement of such portion of the exterior of the structure as is designed to be exposed to public view, including kind, color and texture of the building material of such portion and all types of windows, doors, lights, signs and other fixtures appurtenant to such portion.

(d) Exterior Architectural Characteristics in Typical Italian Village Houses — This type of architecture

\*(9)\* homes

\*(10)\* ,flat roofs, and similar character

\*(11)\* roofs

\*(12)\* 2 to 1,

\*(13)\* Roman-arched

\*(14)\* lain

\*(15)\* extended

\*(16)\* fences completely surrounded

\*(17)\* entrances

\*(18)\* The dimensions of the typical house are

\*(19)\* 30 foot by 80 foot lot

\*(20)\* (e) Building Inspector — the officer charged with the administration and enforcement of the Building Code, or his regularly authorized deputy.

\*(21)\* shall be issued by the Building Inspector pursuant to Chapter 4113, Columbus City Codes, 1959,

\*(22)\* or the reconstruction of any structures in the Italian Village or the

\*(23)\* said

\*(24)\* except in cases excluded by Section 3327.11,

\*(25)\* be

\*(26)\* Section 3327.07 that no exterior architectural features is involved or shall be accompanied by a certificate of appropriateness issued under Section 3327.08.

\*(27)\* of non-applicability of Chapter 3327

\*(28)\* Section 3327.11, every person who applies for a building permit pursuant to Chapter 4113, Columbus City Codes, 1959, to construct any structure in the Italian Village, or to

\*(29)\* said

\*(30)\* Italian Village Commission his application for such building permit together with all plans and specifications for the work involved. Within thirty days, the Commission shall con-

sider such application, plans and specifications to determine whether any exterior architectural feature is involved. If the Commission determines no exterior architectural feature is in-

involved, it shall cause its secretary to endorse on the building permit application, certification of such determination and return the application, plans and specifications to the applicant.

## COLUMBUS CITY CODE 3116

**ORD. No. 1515-89**—To supplement the Columbus City Codes, 1959, by the enactment of new Chapter 3116 consisting of thirty-five sections numbered 3116.01, 3116.011 to 3116.019, inclusive, and 3116.02 to 3116.26, inclusive, all to create new rehearing, negotiation and mediation processes, to require production of guidelines, to set additional review standards, to unify existing provisions, and to standardize definitions for historic preservation and architectural review commissions.

WHEREAS, problem resolution procedures short of an appeal are needed and applicants should have the opportunity for rehearing, negotiation, mediation and alternate plan development following denial of a certificate of appropriateness; and

WHEREAS, consolidation of provisions and procedures in one new chapter is preferable to insertion into five existing chapters, one for each commission; and

WHEREAS, an appeal procedure should be enacted in a new chapter (3118) concurrently with enactment of this chapter; and

WHEREAS, uniformity in basic standards and procedures for historic preservation and architectural review commissions and districts and Listed Properties is desirable; and

WHEREAS, individual guidelines should be produced for each district or Listed Property; and

WHEREAS, sections which were replicated in several chapters should be consolidated in one chapter and be applicable to all commissions and districts involved in historic preservation and architectural review; and

WHEREAS, definitions rather than being repeated in five different chapters should be unified and placed in alphabetical order for easier access in one chapter; and

WHEREAS, the Commission Appeals Task Force formed to consider changes in historic preservation and architectural review procedures has approved the following legislation; and

WHEREAS, the Development Commission, after notice and public hearing, recommended the following ordinance to Council for passage conditioned upon the concurrent passage of legislation creating the position of Preservation Architect in the Development Department and the funding for such additional staff; now, therefore,

**BE IT ORDAINED BY THE COUNCIL OF THE CITY OF COLUMBUS:**

**Section 1.** That the Columbus City Codes, 1959, are hereby supplemented by the enactment of new Chapter 3116 consisting of thirty-five (35) sections numbered 3116.01, 3116.011, 3116.012, 3116.013, 3116.014, 3116.015, 3116.016, 3116.017, 3116.018, 3116.019, 3116.02, 3116.03, 3116.04, 3116.05, 3116.06, 3116.07, 3116.08,

3116.09, 3116.10, 3116.11, 3116.12, 3116.13, 3116.14, 3116.15, 3116.16, 3116.17, 3116.18, 3116.19, 3116.20, 3116.21, 3116.22, 3116.23, 3116.24, 3116.25, and 3116.26 reading as follows:

### CHAPTER 3116

#### Historic Preservation and Architectural Review

##### 3116.01 Definitions.

For the purposes of Chapters 3116 to 3118, inclusive, and 3319 to 3331, C. C., inclusive, terms, phrases and words defined in C. C. 3116.011 through 3116.019, inclusive, and their derivations shall have the meaning given therein.

When not inconsistent with the context, words used in the present tense include the future, words in the plural number include the singular number, words in the singular number include the plural number and words in the masculine gender include the feminine and neuter. Definitions contained in Chapter 3303, C. C., and not in conflict with Chapter 3116, C. C., shall apply.

##### 3116.011 Letter A.

"Aggrieved third party" means any owner or resident of a lot within one hundred twenty-five (125) feet of the applicant's subject property or any area commission or neighborhood organization within whose jurisdiction the subject property lies.

"Alteration" means any material or visual change, other than normal maintenance and repair to the exterior of any structure located within those districts set out in Chapters 3319 to 3331, C. C., inclusive, or to any Listed Property designated pursuant to Chapter 3117, C. C., or to the publicly accessible interior of any Listed Property which was listed in part, or in whole, because of the interior's historic or architectural significance.

(1) "Adverse alteration" means an alteration that destroys or damages one or more architectural features of the structure or Listed Property, or is inappropriate to the site or to the architectural characteristics of the District. An adverse alteration is identified by the Commission using the standards contained within this chapter or adopted hereunder, pertinent typical architectural characteristics, and such guidelines now or hereafter developed for said Listed Property or District.

(2) "Interior alteration" means an alteration of an interior space that is publicly accessible and is reviewed only if the subject Listed Property was designated in part, or in whole, because of the interior's historic or architectural interior significance.

(3) "Minor alteration" means a change that has a minimal impact on a structure or Listed Property including, but not limited to, in-kind replacement or repair of deteriorated building elements and changes that affect only a small portion thereof.

(4) "Substantial alteration" means an alteration that has a major impact on the architectural features, characteristics or integrity of a structure or Listed Property including, but not limited to, changes in or additions to: windows, window frames, railings, porches, balconies, ornamentalations, fencing and site improvements such as regrading and filling.

"Applicant" means any person or his representative who applies for a building or demolition permit or for a certificate of appropriateness therefor for construction, alteration or demolition of a Listed Property or structure.

"Appurtenance" means any structure or object subordinate to a principal structure or site located within a Listed Property or architectural review commission area and visible from the public right-of-way including, but not limited to, a bicycle rack, carriage house, display sign, fence, fixture, fountain, garage, outbuilding, pavilion, public artwork, statue, street furniture, shed, trellis, vending machine, or similar item.

"Architectural feature" means the architectural treatment and general arrangement of such portion of:

(1) the exterior of a property as is designed to be exposed to public view; and

(2) the publicly accessible interior of any Listed Property which was listed in part, or in whole, because of the interior's historic or architectural significance; including kind, color and texture of the building material of such portion and type of all windows, doors, lights, signs and any other fixtures appurtenant to such portion.

"Architectural review commission" means the German, Italian or Victorian Village Commission or the North Market Commission.

"Area" means a specifically delineated geographic division of the City of Columbus.

**3116.012 Letters B and C.**

"Board" when used without clarification means the Board of Commission Appeals.

"Building Inspector" means the officer charged with administration and enforcement of the Building Code, or his regularly authorized deputy.

"Certificate of Appropriateness" or "certificate" means a certificate issued by the Commission to an applicant stating that the proposed construction, alteration or demolition of a structure, architectural feature or Listed Property pursuant to the application filed therefor is appropriate under the terms of the chapter pertinent thereto and consistent with the architectural characteristics, guidelines and standards affecting same or due to unusual and compelling circumstances or substantial economic hardship does not require such consistency; and that, therefore, a permit can be issued therefor.

"Characteristics" means unique attributes or qualities of a property specifically pertaining to such property as set out in the City Codes.

"Columbus Register of Historic Properties" or "Columbus Register" means the city's record of Listed Properties.

"Commission" when used without clarification means the Historic Resources Commission

created by Chapter 3117, C. C., or the architectural review commission created by one of the chapters included within Chapters 3319 to 3331, C. C., inclusive, as the case may be, having jurisdiction over the application.

"Construction" means the process of building, erecting or placing a structure, appurtenance or object within a Listed Property or District.

"Contributing property" (See C. C. 3116.017.)  
**3116.013 Letters D, E. and F.**

"Demolition" means the process of razing or removing all or a substantial portion, of a building, structure or appurtenance from a Listed Property or a District. The difference between "demolition" and "relocation" should be noted. "Demolition" is the broader term; "relocation" denotes moving a structure or appurtenance intact to another location.

"District" means either (A) the architectural review commission area as set out in one of the chapters numbered 3119 to 3331, C. C., inclusive, in which the property subject to the application is located or (B) relative to Listed Properties under the Historic Resources Commission in Chapter 3117, means ten or more structures and/or sites grouped together in a geographically defined area possessing a significant concentration, linkage or continuity of structures, appurtenances or sites that are united by past events, aesthetics, plan, or physical development and where at least fifty percent (50%) of the structures satisfy the requirements of C. C. 3117.05 in which the property subject to the application is located.

"Economic return" means a profit or increase in value from use or ownership of a site, structure, building, appurtenance or object that accrues from investment of capital or labor.

"Facade" means the face or front of a structure or any vertical surface thereof adjacent to a public way.

**3116.014 Letters G, H. and I.**

"Group" means two or more structures, objects and/or sites each of which satisfies C. C. 3117.05 requirements and all of which are located in geographical proximity and are united by aesthetics, past events, plan or physical development.

"Guidelines" means the documents adopted by a Commission that sets forth the architectural characteristics of a Listed Property or an architectural review commission area, or a specific property therein and provides design guidance for appropriate construction or alteration therein pursuant to the provisions of the pertinent chapter. Guidelines and standards are intended to be consistent with each other.

"Intrusion" means an object, site or structure which detracts from a Listed Property's or District's significance because of its incompatibility with the sense of time and place and historical development; or its incompatibility of scale, materials, texture or color; or whose integrity has been irretrievably lost; or whose physical deterioration or damage makes rehabilitation infeasible.

"Inventory" means a systematic identification of properties having cultural, historical, architectural or archaeological significance compiled

according to standards adopted by Council for evaluating property to be considered for designation as a Listed Property in the Columbus Register of Historic Properties or on the National Register of Historic Places.

**3116.015 Letters J, K and L.**

"Listed Property" means any structure, group, district or site so designated by Council and placed on the Columbus Register of Historic Properties pursuant to the provisions of Chapter 3117 as well as each structure, site or appurtenance therein.

**3116.016 Letters M, N and O.**

"Normal maintenance or repair" means any maintenance or repair which does not require a building permit and does not constitute alteration as defined hereinabove and whose purpose is to correct any decay, deterioration or damage to an architectural feature and restore same to its condition prior to such deterioration, decay or damage.

"Noncontributing property" (See C. C. 3116.017.)

"Owner" means the owner of record.

**3116.017 Letters P, Q and R.**

"Property" means any structure, group, district or site subject to the provisions of Chapter 3117 or 3319 to 3331, C. C., inclusive.

A contributing property is at least 40 years of age or contributes to the architectural character or historical and architectural significance of a group or district. A noncontributing property is less than 40 years of age or does not make such a contribution.

"Register" when used without qualification means the Columbus Register of Historic Properties, the city's record of Listed Properties.

"Rehabilitation" means the act or process of returning a building, object, site, or structure to a state of utility through repair, remodeling or alteration that enables an efficient contemporary use while preserving those portions of features of the building, object, site or structure that are significant to its historical, architectural and cultural values.

"Relocation" means any change in the location of a structure or object from one setting to another.

"Restoration" means the act or process of accurately recovering the form and details of a building, object, site or structure and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.

**3116.018 Letters S, T, U and V.**

"Site" means any significant historical, archaeological, or architectural property without a principal structure such as the location of a prehistoric or historic activity, or a significant event. A site may also include a property of significant landscape design. This definition of "site" shall not be construed to limit the term "site plan" or "site improvement."

"Site improvement" means a significant exterior improvement other than a building or structure including but not limited to, landscaping; parking, utility or service area; walkway; fence; mound; wall; sign; mechanical system or similar improvement.

"Stabilization" means the act or process of ap-

plying measures designed to reestablish a weather-resistant enclosure and structural stability to an unsafe or deteriorated building, structure, site or object while maintaining its existing essential form.

"Staff" means personnel of the Development Department or Human Services Department assigned to the Commission having jurisdiction over the application.

"Standard" means a regulation set out in C. C. 3116.11 to 3116.14, inclusive, and generally defining what constitutes an appropriate alteration, construction, site improvement, or demolition.

"Structure" means a building, object, monument, work of art, or work of engineering permanently affixed to the land or any combination or any material thing of functional, aesthetic, cultural, historical or scientific value that may be by nature or design, movable yet related to a specific setting or environment; or any combination of materials to form a construction that is safe and stable including, but not limited to, stadia, tents, reviewing stands, platforms, stagings, observation towers, radio towers and graphics. The term "structure" shall be construed as if followed by the words "or part thereof." The distinction between "structure" and "building" should be noted. "Structure" is the broader term; "building" is a restricted form of "structure."

For abatement of a nuisance, in addition to the above, "structure" shall include appurtenance, scaffold, ash pit, wagon, auto trailer, junk, rubbish, excavation, wall or any object or thing used or maintained above or below the ground, or any part thereof.

"Substantial economic hardship" means a financial burden imposed upon an owner which when measured by standards of this chapter is unduly excessive preventing a realization of an economic return upon the value of his property.

"Unusual and compelling circumstances" means those uncommon and extremely rare instances, factually detailed and conforming to the standards therefor contained in this chapter, warranting a Commission's decision contrary to its architectural characteristics, guidelines or standards or the Board's decision on appeal contrary to that of the Commission due to the evidence presented.

**3116.019 Letters W, X, Y and Z.**

No entries.

**3116.02 Purpose.**

This chapter provides uniform definitions, requirements and procedures for Chapters 3117, 3118, and 3319 to 3331, inclusive.

**3116.03 Guidelines required.**

(A) Guidelines adopted by Commissions prior to enactment of this section are exempt from its provisions; and are hereby approved by Council. Amendments subsequent to enactment of this section shall conform to all provisions hereof.

(B) Within one (1) year after a new architectural review commission is established or a property is listed on the Register the Commission shall prepare Guidelines for the District or Listed Property consistent with the standards of this chapter, give notice thereof, and seek

comments according to the following procedure.

(C) Upon completion of proposed Guidelines the Commission shall give notice as to where the proposed Guidelines are on file and available for review and the time and place of a public hearing thereon by mailing same to each owner of property in the Listed Property or District and any area commission or neighborhood organization within whose jurisdiction the Listed Property or District lies; and by publishing same in the City Bulletin as early as possible prior to the hearing.

(D) Comments on the proposed Guidelines may be submitted in writing to staff or in person at the public hearing. The Commission will consider such comments in the final document.

(E) Upon completion of the final document, staff shall give notice in the City Bulletin that Guidelines have been finalized, are on file, are available for review and tentatively will be submitted to Council on a specific date. Comments received on the final document shall be considered for incorporation into the Guidelines prior to submission to Council.

(F) The Commission shall consider the Guidelines for approval. The Planning Division shall review the Guidelines and prepare comments for City Council. Staff shall forward the Guidelines to City Council for final adoption.

#### **3116.04 Certificate required.**

Except in cases excluded by C. C. 3116.23, no person shall construct, reconstruct, alter, change the exterior color of or demolish any Listed Property or architectural feature thereof or any structure or architectural feature now or hereafter in a District or make site improvements thereon without first applying for a certificate of appropriateness therefor and obtaining either such certificate of appropriateness or a certificate that no architectural feature is involved.

The applicant shall deposit his application with the secretary of the Commission in the manner and form provided by C. C. 3116.06 and 3116.07.

#### **3116.05 Certificate that no architectural feature is involved.**

If the Commission determines that no architectural feature is involved, it shall cause its secretary to endorse on the application or certificate, certification of such determination and return the application, plans, specifications and certificate, if any, to the applicant.

#### **3116.06 Application for certificate.**

(A) The owner shall file an application for a certificate of appropriateness with the Commission in accordance with the provisions of this Chapter upon the city's application form prepared and adopted for such use.

(B) The Commission shall consider applications at its regularly scheduled meetings, and shall consider an application at its next regularly scheduled meeting only if it was filed at least ten (10) days prior thereto and notice was published in the City Bulletin as early as possible to said meeting. The Commission shall have a maximum of forty-five (45) days to review an application. Time shall be calculated per C.C. 101.03 and may be extended by mutual

agreement for rehearing, negotiation, mediation or consideration of an alternate plan.

(C) Historic Resources Commission staff shall review each application to that Commission and make a recommendation thereon. Such applicant may meet with staff prior to the Commission's review of the application.

#### **3116.07 Materials required for consideration.**

In addition to the application for a certificate of appropriateness, certain supplemental materials regarding architectural compatibility shall be required and others may be required.

(A) The following materials shall be required for any application for a certificate of appropriateness:

(1) Photographic documentation in the form of color prints of the property including, but not necessarily limited to the following images of the property; setting and location characteristics; each facade or vertical surface affected by the construction, alteration or demolition; and architectural features or appurtenances impacted by the proposal.

(2) Samples of materials and colors of finishes, product literature or descriptions of materials and finishes to be used, when relevant.

(3) Drawing or rendering of any graphic or sign to be installed on the property and its proposed location.

(B) In addition to (A) (1), (2) and (3) above, any application for a minor alteration shall include: a simple drawing or rendering or written specifications of the work to be performed; a site plan or photocopy of the pertinent page or partial page of a property atlas from the Main Branch of the Public Library of Columbus and Franklin County or the Development Regulation Division.

(C) In addition to (A) (1), (2) and (3) above, any application for new construction or substantial alteration shall include: a complete set of construction drawings including site plan, facades and other exterior surfaces, landscaping plan and detail drawings.

(D) In addition to (A) (1) and (3) above, any application for demolition shall include: a site plan or photocopy of the pertinent page or partial page of a property atlas from such library or the Development Regulation Division and plans for the new construction or landscaping to replace the demolished structure according to requirements in (C) above.

If preparation of any item above is beyond the physical or financial means of the owner, the Commission may request that staff prepare it.

#### **3116.08 Documentary evidence for Commission.**

(A) For any application relating to property in an area covered by Chapter 3117, the applicant bears the burden of demonstrating economic hardship or unusual and compelling circumstances. The applicant is encouraged to seek assistance from the staff of the Development Department in meeting this burden. The Development Director may promulgate rules and regulations designed to assist applicants in demonstrating economic hardship or unusual and compelling circumstances. These rules and regulations shall not call for the onerous production of documents and data. It is the intention of this section that the level of

documentation required of an applicant may vary as is appropriate to each case.

(B) For any application relating to property in an area covered by a chapter numbered from 3319 to 3331, inclusive, the applicant bears the burden of providing documentary evidence to show any substantial economic hardship or unusual and compelling circumstances either with the original application at the time of filing or separately thereafter. It is advisable for the applicant to provide as much documentation as possible. Applicants are encouraged to meet with staff to determine the level of documentation appropriate to each case. Staff will use the following as a standard for determining the documentation necessary.

(1) In addition to the materials required by C.C. 3116.06 and 3116.07, an applicant who desires to present a case for substantial economic hardship shall provide the following information to the extent it is available or appropriate:

(a) The amount paid for and date of purchase of the property if purchased within two (2) years prior to the application; copies of the two most recent appraisals of the property; real estate tax bills or receipts for the two (2) years immediately preceding the application; any listings of the property for sale or rent; any written offers to purchase or rent the property; any consideration of the applicant for adapting the property to a new use; and a detailed cost comparison of the work proposed by applicant and any alternative consistent with architectural standards and guidelines for the property.

(b) For all income-producing property: annual gross income from and itemized operating expenses for the property for the past two (2) years; and evidence that the owner or applicant has made a reasonable effort to obtain an economic return thereon.

(c) For showing substantial reduction in the value of the property: estimates of the value of the property with applicant's requested proposal and with alternatives consistent with the architectural standards and guidelines for the property.

(d) For showing that alternatives are not within applicant's financial means: a statement of applicant's annual income and expenses either as an income tax return and budget or as an accountant's statement; and an estimated differential in initial and annual costs between applicant's proposal and conformity to architectural standards and guidelines for the property. Actual bids shall be preferred.

(2) In addition to the materials required by C.C. 3116.06 and 3116.07, an applicant who desires to present a case for unusual or compelling circumstances may provide the following as appropriate:

(a) A statement of such circumstances.

(b) For showing that no other reasonable means exist for saving the property: copy of condemnation or housing order based on deteriorated condition of property; a structural analysis by a licensed architect, engineer or contractor experienced in alterations to historic properties as to the structural soundness of the property or architectural feature accompanied by the individual's or firm's qualifications for

making such analysis; documentation that property has been offered for sale.

(c) For showing that the property cannot be reasonably maintained in the manner desired by the Commission: a report by a licensed architect, engineer or contractor experienced in alterations to historic properties that the unusual design, materials, texture or details prohibit the reasonable maintenance of the property or exterior architectural feature with an explanation as to how the property's location is not conducive to its reasonable maintenance accompanied by the individual's or firm's qualifications for making such a report.

(d) In addition to materials in (1), (2) and (3), for showing that a non-profit organization cannot financially or physically achieve its purpose: a copy of its charter and bylaws or mission statement; an explanation of how the applicant's proposed construction, alteration or demolition is essential to the charitable purposes of the organization and how the Commission's recommendation conflicts therewith; an estimated differential in costs between applicant's proposal and consistency with the architectural standards and guidelines for the property (actual bids are preferred); and documentation of the organization's tax-exempt status.

#### **3116.09 Issuance of Certificate**

(A) At the public hearing the Commission shall issue a certificate of appropriateness to the applicant if one of the following conditions applies:

(1) The alteration, construction, site improvement, or demolition is appropriate as defined by the architectural standards in C.C. 3116.11, 3116.12, 3116.13 or 3116.14, respectively, the pertinent typical architectural characteristics and such guidelines as the Commission shall have adopted; or

(2) Although inappropriate such proposal due to unusual and compelling circumstances as defined in C.C. 3116.01 and by C.C. 3116.16 criteria affects only the subject structure and not the Listed Property or District generally and such certificate may be issued without substantial detriment to the public welfare and without substantial derogation from the intent and purpose of this chapter or of the chapter pertinent to the subject property; or

(3) Failure to issue such certificate will result in a substantial economic hardship for the applicant as defined in C.C. 3116.01 and by C.C. 3116.15 criteria and such certificate may be issued without substantial detriment to the public welfare and without substantial derogation from the intent and purpose of this chapter or of the chapter pertinent to the subject property; or

(4) The Commission fails to make a determination hereinbefore prescribed, and the certificate of appropriateness may be issued without substantial detriment to the public welfare and without substantial derogation from the intent and purpose of this chapter or of the chapter pertinent to the subject property.

(B) An affirmative vote by a majority of the members present, but in no case less than a quorum, shall cause issuance of a certificate of appropriateness.



(C) If the proposed alteration will not affect any architectural feature of the structure or Listed Property, the Commission may, without public hearing, review the application and issue a certificate of appropriateness subject to reasonable terms and conditions.

**3116.10 Procedure following denial of certificate.**

(A) If the Commission determines that a proposed alteration, construction, demolition or site improvement is inappropriate, the Commission may deny a certificate. Within ten (10) days after its decision, the Commission shall spread upon its record the reason for denial and present it in writing to the applicant.

(B) If the denial was by an architectural review commission established in any chapter numbered 3319 to 3331, inclusive, the applicant may apply for a rehearing, negotiation or mediation in accordance with the provisions of this chapter.

(C) Due to unique time constraints, immediately upon denial of a certificate by the Historic Resources Commission, the applicant and the Commission shall begin negotiation or mediation.

(D) Negotiation. For a minor alteration or minor site improvement, the applicant may schedule a negotiation meeting with staff and a representative of the Commission with ten (10) days of such denial. The applicant, staff and Commission representative will attempt to reach a compromise within thirty (30) days thereafter. Negotiation may be extended by mutual agreement. If a compromise is reached a certificate will be issued immediately. If no compromise is reached and negotiation ceases, the Commission shall issue its final order.

(E) Mediation. The Development Director and Human Services Director shall create and maintain a common roster of potential mediators, potential volunteers, if possible, who shall be members of the professions or vocations suggested as desirable for members of the Commissions. Mediation shall be required for a substantial alteration, construction or demolition for a Listed Property or upon mutual agreement between an applicant and architectural review commission. Within ten (10) days after denial of the certificate a mediation team shall be created consisting of one member appointed by the pertinent Commission, one member appointed by the applicant, and a mediator appointed by the first two members from the roster hereinabove provided. If the first two members are unable to agree on a mediator, the Development Director and Human Services Director shall appoint a mediator. Costs for the mediator, if any, shall be divided equally and paid by the applicant and the City. Mediation towards resolution may occur during the next forty-five (45) days. When the matter is resolved a certificate will be issued immediately. If there is no resolution, mediation may be extended by mutual agreement. Lacking such agreement, the Commission shall issue its final order. Thereafter the applicant may appeal the decision. If the application was before the Historic Resources Commission, the applicant may appeal or wait until the end of the one hundred five (105) day period to proceed.

(F) Alternate plan development. As a part of negotiation or mediation, the Commission and the applicant shall attempt in good faith to develop an alternate plan that is appropriate under the applicable standards and criteria set forth in C.C. 3116.11 to 3116.16, inclusive. The Commission shall schedule one or more public hearings to consider any alternate plan, which differs substantially from the original application, of which written notice shall be sent by certified mail to the owner and applicant at least ten (10) days prior to the hearing and published in the City Bulletin. Said notice shall state the nature of the hearing, the structure involved, and the time, date and place of the hearing. Such public hearings may be scheduled at the earliest possible time agreed upon by the owner, applicant and Commission representative.

**3116.11 Standards for alteration.**

The following standards shall apply to evaluation of the appropriateness of a proposed alteration:

(1) Every reasonable effort shall be made to use the property for its originally intended purpose or to provide a compatible use requiring minimal alteration.

(2) The distinguishing characteristics of the property shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature shall be avoided whenever possible.

(3) Each property shall be recognized as a product of its own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

(4) Changes which have taken place over the course of time are evidence of the property's history and environment. These changes may have acquired significance in their own right and, if so, this significance shall be respected.

(5) Distinctive stylistic features and examples of craftsmanship that characterize a property shall be treated with sensitivity.

(6) Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures.

(7) The gentlest means possible shall be used to clean the property's surface if necessary. Sandblasting and other cleaning methods that will damage the historic building material are prohibited.

(8) Archaeological resources affected by or adjacent to any alteration shall be protected and preserved.

(9) Contemporary design for alteration to a property shall not be discouraged when such alteration does not destroy significant, historical, architectural or cultural material and its design is compatible with the size, scale, color, material and character of the property, its environment and surrounding contributing prop-

erties.

(10) Whenever possible, a new addition or alteration shall be accomplished so that its future removal will not impair the essential form and integrity of the structure.

(11) Exterior cladding of a structure shall be constructed shall be consistent with the original materials used on the property.

(12) In passing upon appropriateness, the Commission shall consider, in addition to any other pertinent factor, the architectural characteristics typical of structures in the District or Listed Property, the historical and architectural value and significance, architectural style, general design, arrangement, texture, material and color of the architectural feature involved and its relation to the architectural features of other contributing properties in the immediate neighborhood.

### **3116.12 Standards for new construction.**

The following standards shall apply to the evaluation of the appropriateness of proposed new construction:

A. New structures should look new, reflecting contemporary design standards while using contemporary design elements that relate to existing contributing properties surrounding the new structure. Building height, width, mass and proportion effect the degree of compatibility between the old and the new.

B. An applicant who intends to utilize a property as any part of a development shall consider the context of the property's original location and the importance of the setting in the new development. If the proposal will occupy the full property, development opportunities may be limited to rehabilitation, renovation or restoration for adaptive reuse. If the proposal occupies less than the full site, greater flexibility will be available.

C. Height as viewed from the street shall be compatible with adjacent contributing properties. Setoffs may be used at upper levels. Physical size and scale shall be compatible to existing contributing properties without overwhelming them.

D. The proportion of openings, width and height of windows, doors and entries, shall be visually compatible with adjacent contributing properties and open space. A long, unbroken facade in a setting of existing narrow structures shall be divided by openings, setoffs or decorative details into smaller bays thereby complementing the streetscape.

E. The rhythm or relationship of solid spaces to voids (i.e., walls to windows and doors), in the facade of a structure shall be visually compatible with adjacent contributing properties and open spaces in its environment.

F. The rhythm of spacing, the relationship of a structure to the open space between it and adjoining structures, shall respect the surrounding environment. The building mass of a large development project can be varied in form by using setoffs for open space and landscaping when appropriate to provide necessary visual transitions between a large structure and adjacent properties.

G. The rhythm of projections, the relationship of entrances, porches and other projections to

sidewalks or streets, shall be guided by the streetscape provided by adjacent and visually-related structures and open spaces.

H. The choice of material, texture and color for the facade of the structure should relate attractively to and be tempered by the predominant material, texture and color of adjacent and visually-related structures. Simplicity is preferable.

I. The structure's roof shape is a major distinguishing visual element. Generally a simple roof shape similar in form and type to adjacent and visually-related roofs is appropriate.

J. Appurtenances of a structure such as walls, fences and masses shall be in keeping with the environment and form cohesive enclosures along a street to insure visual compatibility with the adjacent, visually-related structures and open spaces. Landscaping including grass, trees, shrubbery and flowers shall be included, especially in parking and sidewalk areas.

K. Scale, the size and mass of structures in relation to open spaces, openings and projections, shall be compatible with adjacent, visually-related structures and open spaces.

L. A structure which has frontage on more than one street or alley resulting in multiple facades shall require application of compatibility standards to each facade.

M. The Commission shall consider, in addition to any other pertinent factor, the architectural characteristics typical of structures in the District or Listed Property, the historical and architectural value and significance, architectural style, general design, arrangement, texture, material and color of the architectural feature involved and its relation to the architectural features of other structures in the immediate neighborhood.

N. Where brick predominates in nearby structures new construction shall be of brick. If frame predominates in nearby structures, then new construction shall be of frame. Where vacant land predominates, brick shall be preferred.

### **3116.13 Standards for site improvements.**

A. Landscaping, parking, utility or service areas, walkways and similar improvements should be compatible to each other and to the subject building or structure as well as to adjacent contributing properties, open spaces and the overall environment.

B. Fences of wrought iron, stone or wood are encouraged. Chain link fence, although not favored, may be used in the rear of a property if not facing on another street. Chain link fence shall not be erected in a location that is visible from the street or is in front of the setback line. Chain link or privacy fence shall not exceed six (6) feet in height and shall generally be restricted to side and rear yards. Front yard fence shall be permitted only where allowed by guidelines. A parking lot, automobile dealer, junkyard, yard storage facility, or any similar use shall have solid fencing to prevent headlight and unsightly scene interference with the enjoyment of the neighborhood in general. Alternatively, properly landscaped mounds may be approved for installation around a parking area. Box wire, chicken wire and wire fences in gen-

eral shall be discouraged.

C. Signs are regulated by Chapters 3375, 3377, 3379 and 3381, C. C., but shall also be in keeping with the character of the adjacent environment. Excessive size and inappropriate placement results in visual clutter and shall be avoided. A good sign should relate harmoniously to exterior building material, texture and color; express a simple, clear message; and contain a minimum number of words.

D. Mechanical systems shall be screened by appropriate fence, mound or planting and are generally prohibited from any front yard.

#### **3116.14 Standards for demolition.**

The following standards shall apply to the evaluation of the appropriateness of a proposed demolition:

Demolition of an historic or contributing property or architectural feature constitutes an irreplaceable loss to the quality and character of a Listed Property or District. No person shall demolish any structure or architectural feature now or hereafter in a Listed Property or District until he or she has filed with the Commission an application for a certificate of appropriateness setting forth the intent to demolish such structure or architectural feature together with a written statement that such structure or architectural feature is not historically or architecturally significant or otherwise worthy of preservation and the reasons the applicant is seeking to demolish same.

If seeking to demolish an entire structure or major portion thereof, the applicant shall also submit definite plans for reuse of the site, evidence of commitment for funding of the new project, a timeframe for project initiation and completion and an assessment of the effect such plans will have on the character and integrity of the Listed Property or District.

The Commission shall be guided in its decision thereon by balancing the historic, architectural, and cultural value of the structure or architectural feature and the purposes of this chapter and of the chapter pertinent to the subject property against applicant's proof of any unusual and compelling circumstances or substantial economic hardship in retaining the structure or architectural feature and the merit of the replacement project.

Upon the Commission's determination that any such structure or architectural feature is not historically or architecturally significant or otherwise worthy of preservation, a certificate of appropriateness shall be issued. The applicant may then apply for or be issued a demolition permit as required by C. C. 4113.014.

#### **3116.15 Criteria to determine substantial economic hardship.**

The following criteria shall be used for all applicants to determine the existence of a substantial economic hardship:

(1) Denial of a certificate will result in a substantial reduction in the economic value of the property.

(2) Denial of a certificate will result in a substantial economic burden on the applicant because the applicant cannot reasonably maintain the property in its current form.

(3) No reasonable alternative exists consis-

tent with the architectural standards and guidelines for the property.

(4) The owner has been unable to sell the property.

#### **3116.16 Criteria to determine unusual and compelling circumstances.**

The following criteria shall be used for all applicants to determine the existence of unusual and compelling circumstances;

(1) The property has little or no historical or architectural significance.

(2) The property cannot be reasonably maintained in a manner consistent with the pertinent architectural standards and guidelines.

(3) No reasonable means of saving the property from deterioration, demolition or collapse other than applicant's proposal exists.

Additionally, for the non-profit-organization applicant it is infeasible to financially or physically achieve its charitable purposes while conforming to the pertinent architectural standards and guidelines.

#### **3116.17 Issuance of permit.**

(A) The Development Regulation Division shall issue no permit for construction, alteration or demolition of a structure or architectural feature thereof within a District or a Listed Property unless:

(1) the Commission shall have issued a certificate of appropriateness; or

(2) the Commission shall have issued a certificate that no architectural feature is involved; or

(3) one hundred five (105) days have elapsed since the submission of the application to the Historic Resources Commission and the steps for mediation and negotiation have been followed; or

(4) on appeal the Board of Commission Appeals has overturned the Commission's denial of a certificate or appropriateness.

(B) During the pendency of the application, the Development Regulation Division and other pertinent city agencies shall continue to process such application but shall not issue same. After a certificate of appropriateness has been issued by the Commission, or after the elapse of said one hundred five (105) day period before the Historic Resources Commission, the Development Regulation Division shall issue the requested permit provided all other provisions of the Codes have been met.

#### **3116.18 Limitations on issuance of building permit.**

The building Inspector shall issue no permit for the construction, reconstruction, alteration or demolition of any structure or architectural feature now or hereafter in a Listed Property or District except in cases excluded by C.C. 3116.23, unless the application therefor shall be certified under C.C. 3116.05 as involving no architectural feature or shall be accompanied by a certificate of appropriateness issued under C.C. 3116.09.

#### **3116.19 Rehearing.**

(A) Within ten (10) days after notice of denial, applicant shall request a rehearing before the Commission to consider any unusual and compelling circumstances and/or substantial economic hardship unaddressed in the original application or hearing. Such request shall be

submitted to the secretary of the Commission in writing together with any alternate plans and evidence as to such circumstances and such hardship. Within thirty (30) days of the Commission's receipt of such request, it shall hold a public hearing at which to consider the applicant's evidence in response to its decision and any plan as an alternative thereto. Clear and convincing evidence shall be required for the Commission to find unusual and compelling circumstances and/or substantial economic hardship.

(B) If the application is again denied, the Commission shall clearly state in the record of the hearing the reason applicant failed to meet the test for unusual and compelling circumstances or substantial economic hardship.

(C) If the application is granted after rehearing, the Commission shall clearly state in the record of the hearing:

(1) the clear and convincing evidence which was presented of unusual and compelling circumstances or substantial economic hardship; or

(2) that the final plan is appropriate to the preservation of the District pursuant to the purposes, architectural characteristics, guidelines and standards of this chapter and of the chapter pertinent to the subject property; or

(3) That, although inappropriate, such proposal due to unusual and compelling circumstances affects only the subject structure and not the District generally; and

(4) reasons why the project should proceed in light of the Commission's charge to protect the public welfare from substantial detriment and derogation of the intent and purpose of this chapter and of the chapter pertinent to the subject property.

#### **3116.20 Finding on rehearing.**

If the Commission finds that denial of a certificate of appropriateness will result in substantial economic hardship, it shall within the next ninety (90) days seek a mutually acceptable way to reduce the hardship. If at the end of said period no mutually agreeable solution has been found, a certificate of appropriateness shall be issued.

If the Commission finds that clear and convincing evidence of unusual and compelling circumstances or a substantial economic hardship was not presented by applicant at or before the rehearing, it shall record its finding in writing and the secretary of the Commission shall notify the applicant thereof within twenty (20) days of said rehearing. The applicant may choose to continue to work with the Commission and its staff to find appropriate design solutions or appeal the denial to the Board of Commission Appeals on the same grounds.

#### **3116.21 Right to appeal.**

An applicant who, having presented some evidence of substantial economic hardship or unusual and compelling circumstances to the Commission, has been denied a certificate of appropriateness after rehearing, negotiation or mediation in accordance with the provisions of this chapter, may appeal the Commission's decision to the Board of Commission Appeals in

accordance with the provisions of Chapter 3118 and the standards and criteria of this chapter.

#### **3116.22 Failure to maintain.**

No owner of a structure in a Listed Property or District shall by willful action or willful neglect, fail to provide sufficient and reasonable care, maintenance and upkeep appropriate to ensure such structure's perpetuation and to prevent its destruction by deterioration. This provision shall be in addition to all other applicable code provisions. By resolution the Commission shall present evidence of a violation hereof to the Development Regulation Administrator who shall initiate appropriate action thereon.

#### **3116.23 Exclusions.**

Nothing in this chapter shall be construed to prevent any normal maintenance or repair of a structure or architectural feature now or hereafter in Listed Property or District which involves no change in material, design, arrangement, texture, or color.

Nor shall this chapter be construed to prevent the construction, reconstruction, alteration or demolition of any structure or architectural feature the Building Inspector or Housing Inspector has designated as being in an unsafe or dangerous condition and required for the public safety pursuant to Chapter 4109 or 4515, C. C., respectively.

#### **3116.24 Notice required from Housing and Building Inspectors.**

The Housing Inspector and the Building Inspector shall send a copy of any notice issued pursuant to Chapter 4515, C. C., or Chapter 4109, C. C., respectively, for property in a Listed Property or District to the pertinent Commission. Said Commission shall have the right to appeal any notice so issued within thirty (30) days from receipt of said notice according to the procedures established in the Housing Code, Title 45, or the Building Code, Title 41.

#### **3116.25 Severability.**

The provisions of this chapter shall be deemed severable; and, if any such provision shall be held unconstitutional by a court of competent jurisdiction the decision of such court shall not impair any of the remaining provisions.

#### **3116.26 Penalty.**

Whoever makes site improvements or constructs, reconstructs or alters any structure or architectural feature now or hereafter in a District or Listed Property in violation of this chapter shall be deemed guilty of a misdemeanor and shall be fined not less than five hundred dollars (\$500.00) nor more than twenty-five thousand dollars (\$25,000.00).

Whoever demolishes a substantial part or all of any structure now or hereafter in a District or Listed Property in violation of this chapter shall be deemed guilty of a misdemeanor and shall be fined not less than ten thousand dollars (\$10,000.00) nor more than twenty-five thousand dollars (\$25,000.00).

Whoever causes, by willful action or willful neglect, any alteration of or demolition of any structure now or hereafter in a District or Listed Property in violation of this chapter shall be required to restore or reconstruct same in accord-

ance with the pertinent architectural characteristics, guidelines and standards. Restitution shall be in addition to any criminal penalty and not in lieu thereof.

**Section 2.** That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

## COLUMBUS CITY CODE 3118

**ORD. No. 1516-89**—To supplement the Columbus City Codes, 1959, by the enactment of new Chapter 3118 consisting of eleven sections numbered 3118.01 to 3118.11, inclusive, all to create a Board of Commission Appeals to hear appeals from historic preservation and architectural review commissions.

WHEREAS, the Commission Appeals Task Force formed to consider changes in historical and architectural review procedures has approved the following legislation; and

WHEREAS, uniformity in basic standards and procedures for the historic preservation and architectural review commissions, districts and Listed Properties is desirable; and

WHEREAS, the need exists for an appeal board and procedure other than an Ohio Revised Code 2506 appeal; and

WHEREAS, new Chapter 3116 provides applicants the opportunity for rehearing, negotiation, mediation, alternate plan development and nonjudicial appeal following denial of a certificate of appropriateness; and

WHEREAS, new Chapter 3118 will create the necessary board to hear such appeals and the procedure to be followed; and

WHEREAS, the Development Commission, after notice and public hearing, recommended the following ordinance to Council for passage conditioned upon the concurrent passage of legislation creating the position of Preservation Architect in the Development Department and the funding for such additional staff; now, therefore,

**BE IT ORDAINED BY THE COUNCIL OF THE CITY OF COLUMBUS:**

**Section 1.** That the Columbus City Codes, 1959, are hereby supplemented by the enactment of new Chapter 3118 consisting of eleven (11) sections numbered 3118.01, 3118.02, 3118.03, 3118.04, 3118.05, 3118.06, 3118.07, 3118.08, 3118.09, 3118.10 and 3118.11 reading as follows:

### CHAPTER 3118

#### Board of Commission Appeals

##### 3118.01 Definitions.

For the purposes of Chapter 3118 terms, phrases and words defined in C. C. 3116.011 through 3116.019, inclusive, and their derivations all have the meaning given therein.

When not inconsistent with the context, words used in the present tense include the future, words in the plural number include the singular number, words in the singular number include the plural number, and words in the masculine gender include the feminine and neuter. Definitions contained in Chapter 3303, C. C., and not in conflict with Chapter 3116, C. C., shall apply.

##### 3118.02 Purpose.

A nonjudicial appeal procedure is required

from decisions of the various architectural review and historic preservation commissions established in Titles 31 and 33 of the Columbus City Codes, 1959, in addition to the rehearing, negotiation, mediation and alternate plan development processes provided to efficiently facilitate problem resolution regarding historic preservation and architectural review.

##### 3118.03 Board's creation, members and term.

The Board of Commission Appeals is hereby created, consisting of five (5) members who shall be appointed by the Mayor and shall serve without compensation. Each member shall have demonstrated interest and/or experience in historic preservation and economic development and shall not concurrently be a member of any historic preservation or architectural review commission. Council recommends appointment of a member of the Mayor's administrative staff; two (2) representatives who reside in, own a business with a building in, or own property in an area commission district or neighborhood organization district which includes one or more Listed Properties or architectural review commissions; and two (2) members from professions and individuals such as, but not limited to, an architect; an attorney, a developer, a Columbus realtor, a business person from a commercial area located in or adjacent to a District. Interested individuals and organizations, area commissions, architectural review commissions and neighborhood organizations may each submit nominations of up to three qualified candidates for consideration by the Mayor.

One member shall be appointed for an initial term of one (1) year; two members shall be appointed for an initial term of two (2) years; and two members shall be appointed for an initial term of three (3) years. All subsequent terms shall be for three (3) years. Vacancies caused by death, resignation or otherwise, shall be filled for the unexpired term in the same manner as original appointments are made.

The Development Director shall appoint a qualified staff person to provide technical and preservation services for the Board.

##### 3118.04 Organization.

Within thirty (30) days after the appointment of all members, the Board of Commission Appeals shall meet and organize by election of a chairperson and a secretary. The Board shall adopt rules of procedure which shall be published in the City Bulletin and will provide for hearings on appeals consistent with this chapter. A majority of the members appointed to and serving on the Board shall be required for official action and constitute a quorum. All Board meetings shall be open to the public. A record of proceedings shall be maintained and available for inspection. Notices of all Board meetings shall be published in the City Bulletin.

**3118.05 Duties.**

The Board of Commission Appeals shall hear and consider, in compliance with the provisions of this chapter, appeals from any Commission's denial of an application for a certificate of appropriateness for proposed construction, alteration or demolition of a structure, appurtenance or architectural feature of a Listed Property or in a District based on a claim of unusual or compelling circumstances or substantial economic hardship in accordance with Chapters 3116 and 3118, C. C.

**3118.06 Appeal.**

Appeal to the Board from an architectural review commission's decision is available only after rehearing by such commission under C. C. 3116.19.

Within ten (10) days of receipt of the Commission's final order according to C. C. 3116.20, specifically denying the existence or sufficiency of unusual and compelling circumstances and/or substantial economic hardship, the applicant may appeal to the Board of Commission Appeals in accordance with the standards of Chapters 3116 to 3118, and 3319 to 3331, C. C., inclusive, and guidelines of the Commission, by filing a written notice of appeal with the Commission's staff and the secretary of the Board. Within ten (10) days of receipt of the notice of appeal, the Commission's staff shall forward to the secretary of the Board the transcript consisting of copies of the application, all documents filed pertaining thereto, any alternate plan, evidence presented as to unusual and compelling circumstances and/or substantial economic hardship, the Commission's finding thereon, the mediation record pursuant to C. C. 3116.10, if any, and any other document pertaining thereto.

The Board of Commission Appeals shall review the entire transcript and determine whether applicant has established grounds for appeal pursuant to C. C. 3116.15 or 3116.16. If the Board rules affirmatively, it shall schedule a hearing on appeal within thirty (30) days of receipt of the transcript. The secretary of the Board shall notify the applicant and any witnesses who testified before the Commission of the time and place of the appeal hearing and their right to appear and be heard.

If the Board of Commission Appeals determines that applicant did not present clear and convincing evidence of unusual and compelling circumstances or substantial economic hardship, it shall prepare its order stating that the appeal shall not be heard and the decision of the Commission shall stand; otherwise, it shall prepare its order stating that such conditions do exist and the appeal shall proceed.

**3118.07 Standards on appeal.**

On appeal from any decision of a Commission the Board of Commission Appeals shall recognize the importance of:

(A) the architectural characteristics, guidelines and standards for the District or Listed Property and standards of Chapters 3116 and 3118, C. C.; and

(B) the standards for unusual and compelling circumstances and/or substantial economic hardship as the case requires.

**3118.08 Hearing on appeal.**

On appeal the Board of Commission Appeals shall consider the transcript. No new evidence or claim shall be heard. The applicant, any aggrieved third party, and a representative from the Commission may attend the hearing and be asked by the Board for clarification. If substantial new information which would have had a bearing on the Commission's decision had it been available to the Commission becomes available between the time of the Commission's final order and the Board's appeal hearing, the case shall be remanded to the Commission for rehearing.

**3118.09 Decision on appeal.**

(A) In rendering its decision the Board of Commission Appeals shall consider the transcript and consider whether clear and convincing evidence was presented as to both of the following issues:

(1) that denial of a certificate of appropriateness results in a substantial economic hardship for applicant and/or that applicant's unusual and compelling circumstances warrant granting such certificate; and

(2) that such hardship or circumstances outweigh any detriment to the public welfare or derogation from the intent of the District or Listed Property and the purposes as stated in the pertinent chapter that would result from approval of the application.

(B) The Board shall rule on the appeal within ten (10) days of its hearing and shall send its written ruling to the applicant and the staff of the Commission from which appeal was taken. If the Board rules for the applicant on both (A) (1) and (2) above, it shall instruct the Commission to issue a certificate of appropriateness. Otherwise, the Commission's finding shall be upheld.

(C) A decision of the Board of Commission Appeals pursuant to this section is final and appealable to the court of common pleas. The applicant may return to the Commission for consideration of an alternate plan at any time.

**3118.10 Appeal by the City Attorney.**

After consultation with the Development Department or Human Services Department, as the case may require, and the Commission from which the appeal initially arose, the City Attorney is hereby authorized to file and pursue an appeal of any decision made by the Board in a case where an appealable issue appears.

**3118.11 Severability.**

The provisions of this chapter shall be deemed severable; and, if any such provision shall be held unconstitutional by a court of competent jurisdiction the decision of such court shall not impair any of the remaining provisions.

**Section 2.** That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Attach current application form to this page.

A copy of an Application for a Certificate of Appropriateness, and the related Instruction Packet can be obtained from the Community Services Division of the City of Columbus, 50 W. Gay St., Columbus, OH 43215. Phone Number 645-7144.

